



# Legend

## HydrantGate

- Gated
- Not Gated
- <all other values>

## ValveType, InStructure, CurrentPosition

- Gate in Well, Open
- Gate in Well, Closed
- Gate in Box, Open
- Gate in Box, Closed
- Sleeve and Valve in Well, Closed
- Sleeve and Valve in Well, Open
- Sleeve and Valve in Box, Open
- Simple Check in Well, Closed
- Simple Check in Well, Open
- Butterfly, Open
- Blow Off, Well
- Blow Off, Box
- Pressure Reducing Valve
- Air Relief, Well
- AIRRELIEF, <Null>, <Null>
- Gate with Missing Info
- Gate in Vault, Closed
- Gate in Vault, Open
- Other, Well, Open

## Inoperable Valves

### NormalOperatingPosition

- Buried
- Closed Inoperable
- Open InOperable

## Water Tap/Curb Box

- Water Tap/Curb Box

## Enclosed Storage Facility

- Storage Facility

## Fittings

- Bend
- Sleeve
- Vertical Bend
- Transition Fitting
- Tee or Cross
- Plug and Cap
- Reducer
- Tap
- Sampling Point
- Line Stop

## Watermains

### SubType, Status, InCasing

- wTransmissionST, InService, True
- Transmission Main; wTransmissionST, InService, False
- Distribution Main
- Hydrant Lead
- Distribution Main, Encased
- Raw Water
- Raw Water, Encased
- Water in Treatment Process
- Abandoned Water Lines
- Bypass

## Owner

- Pfizer; University of Michigan; VA Hospital

## WaterLateral

- Fire Service
- Water Lateral
- Water Lateral, Flush Tank Connection
- Water Lateral, Abandoned

## Owner

- Pfizer; University of Michigan; VA Hospital
- Miscellaneous Watermains
- Water Generic Leaders

## Manholes

- Manhole
- Manhole, Flush Tank

## Valves

- Valves

## Sanitary Tap

- Sanitary Tap

## Cleanout Structure

- SCleanoutST

## Fitting

- Tap to Collector
- Other Fitting

## Lift Stations

- SLiftStationST

## Sanitary Main

- Trunkline
- Siphon
- Force Main
- Collector
- Collector/Trunk Abandoned
- Storage Relief

## Sanitary Lateral

- Sanitary Lateral, Abandoned
- Sanitary Lateral
- Sanitary Lateral, Plugged

## Sanitary Miscellaneous Line

- Sanitary Miscellaneous Line

## Manholes

- Abandoned Manhole
- Buried Manhole
- DChamber
- DLidAccess
- Manhole
- Not found Manhole
- Other

## Catchbasin

- DDoubleInletST
- DDirectInletST
- DInletST
- DTagInletST
- DTrenchDrainST
- DLeachingInletST

## Discharge Point

- Open to Close
- Close to Open
- To Huron River
- To Raisin River
- To Stony Creek

## Storm Tap

- Storm Tap

## Curb Connection

- Cleanout
- Connection
- Tap

## Storage Basin

- DBioswaleST
- DChamberBoundaryST
- DPondST
- DRaingardenST
- DSubsurfaceInfiltrationBedST
- DUndergroundST

## DetentionPondRiser

- DDetentionPondRiserST

## Storm Fitting

- Hydrologic Connection
- Bulkhead
- GradeChange
- Junction

## Storm Main

- Collector; DCollectorST, InService
- Culvert
- Crurb Drain
- Inline Storage
- Open Channel
- Overflow
- Inlet Lead
- Tile Drain
- Tag Inlet
- Hydrologic Connection
- Abandoned
- Plugged

## Storm Lateral

- Service Line

## Storm Miscellaneous Lines

- Storm Miscellaneous Lines
- Street Lights
- Conduit
- CountyDrain
- Proposed Appurtenances
- Proposed Watermains
- Proposed Water Laterals
- Proposed Sanitary Structures
- Proposed Sanitary Sewers
- Proposed Sanitary Laterals
- Proposed Storm Structures
- Proposed Storm Sewers
- Proposed Storm Laterals
- Proposed Detention Structure
- Proposed Structures
- Proposed Area
- Rivers and Streams
- Edge of Pavement
- Building Footprints
- Railroads
- Parcels
- Easements
- Schools
- ROWLicenseAgreements
- Right of Way

FOR TERMS AND CONDITIONS OF THIS MAP,  
PLEASE SEE WWW.A2GOV.ORG/TERMS  
FOR MORE INFORMATION.

**CITY OF ANN ARBOR ENGINEERING**

1:38:42 PM 4/30/2020



**STATE LAW ACT 174**  
**3 WORKING DAYS**  
**BEFORE YOU DIG**  
**DIAL TOLL FREE**  
**1-800-482-7171 OR 811**

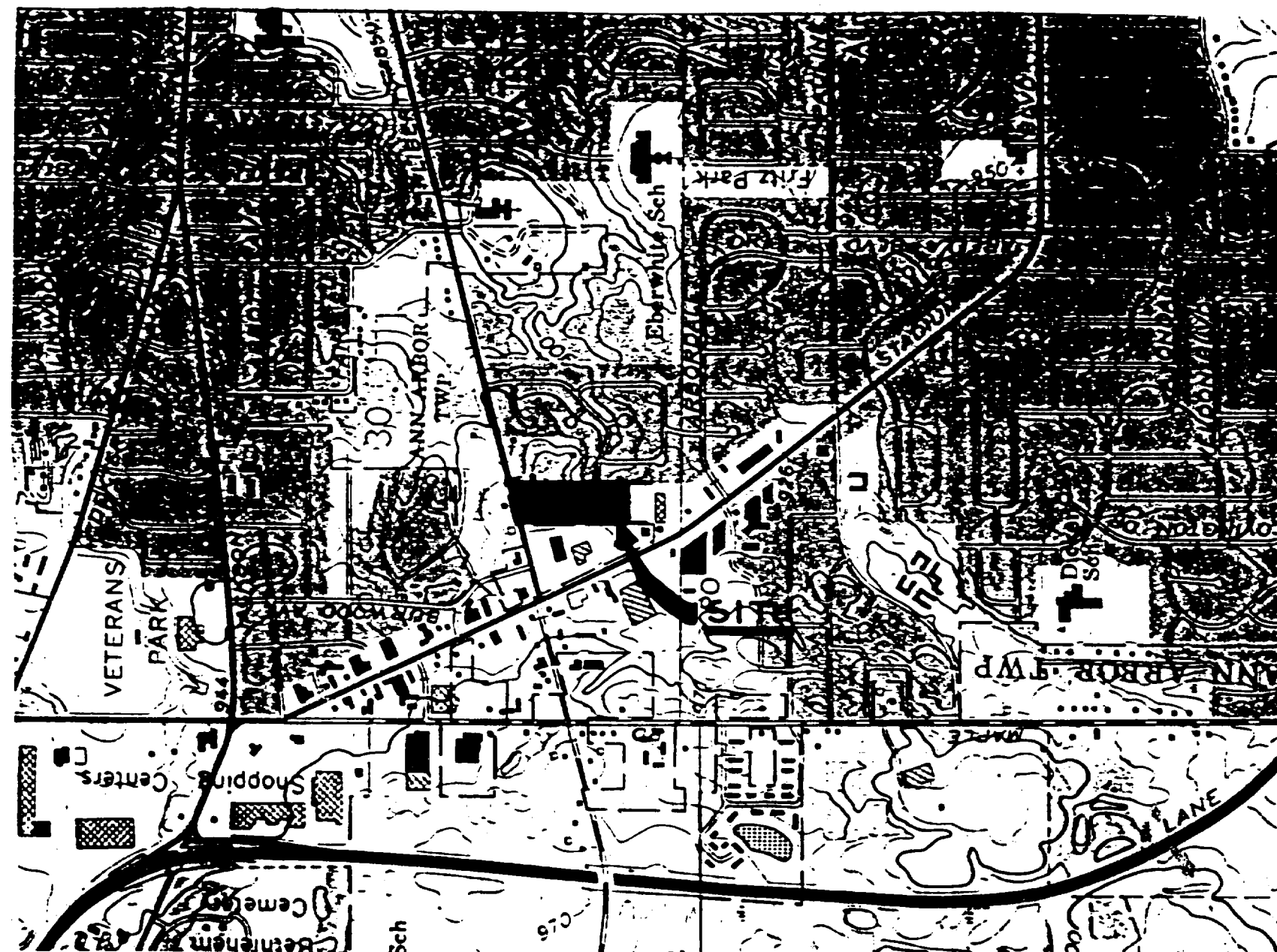


# RIDGEWOOD CONDOMINIUM AND DARTMOOR CONDOMINIUM

**DEVELOPER:**  
KETELAAR ASSOCIATES  
255 SOUTH ASHLEY STREET  
SUITE 203  
ANN ARBOR, MICHIGAN 48104  
(313) 663-6196

**ENGINEER:**  
ATWELL-HICKS, INC.  
1241 SOUTH MAPLE ROAD  
ANN ARBOR, MICHIGAN 48103  
(313) 994-4000

**PLANNER:**  
WILLIAM J. JOHNSON ASSOCIATES, INC.  
444 SOUTH MAIN STREET  
ANN ARBOR, MICHIGAN 48104  
(313) 668-2525



VICINITY MAP  
U.T.S.

**SHEET INDEX:**

| SHEET NO.                  | DESCRIPTION                                  |
|----------------------------|--|
| 91063-1                    | COVER SHEET                                  |
| 91063-2                    | LAYOUT PLAN & LIBERTY STREET WIDENING        |
| 3 NOT AS-BUILT<br>NO MYLAR | GRADING AND SOIL EROSION CONTROL PLAN        |
| 4 NOT AS-BUILT<br>NO MYLAR | UTILITY PLAN                                 |
| 5 NOT AS-BUILT<br>NO MYLAR | NATURAL FEATURES PROTECTION PLAN             |
| 91063-W                    | DARTMOOR ROAD CURB & GUTTER AND UTILITIES    |
| 91063-S,W                  | RIDGEWOOD COURT SANITARY SEWER AND WATERMAIN |
| 91063-R                    | RIDGEWOOD COURT STORM SEWER                  |
| 9 NOT AS-BUILT<br>NO MYLAR | DETAIL SHEET                                 |

**AS-BUILT SEWER DRAWING**

CORRECTED 5-5-94  
MICH. DEPT. OF NAT. RESOURCES No. 917062  
CONSTRUCTION COMPLETED 2-10-92  
PRESSURE TEST COMPLETED 2-17-92  
T.V. TEST COMPLETED 3-4-92

**AS-BUILT WATER DRAWING**

CORRECTED 5-5-94  
MICH. DEPT. OF HEALTH PERMIT No. W911076  
CONSTRUCTION COMPLETED 3-11-92  
BACTERIOLOGICAL TEST 3-10-92  
PRESSURE TEST 2-28-92

"The construction covered by these plans shall conform to the Design and Construction Standards, and Standard Details and Specifications of the Engineering Department, City of Ann Arbor, Michigan, and these Standards and Standard Details are included by reference. All work items referring to such standard details shall be performed in accordance with those referenced standards."

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**NOTICE:**

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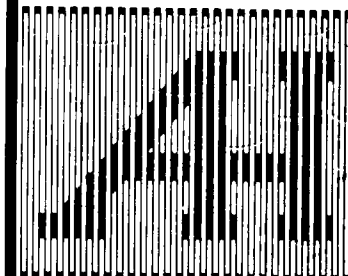
**ATWELL-HICKS, INC.**  
CIVIL ENGINEERS • SURVEYORS • PLANNERS  
313-994-4000 • FAX NO. 313-994-1599  
ANN ARBOR, MICHIGAN

IN THE SW 1/4 OF  
SECTION 30 CITY OF ANN ARBOR  
TOWN 2 SOUTH RANGE 6 EAST  
WASHTENAW COUNTY

CLIENT KETELAAR ASSOCIATES  
COVER SHEET  
RIDGEWOOD  
"AS-BUILT"

3-5-94 AS-BUILT NOT REVISIONS

DATE 7/6/91



SCALE 1" = 100 FEET

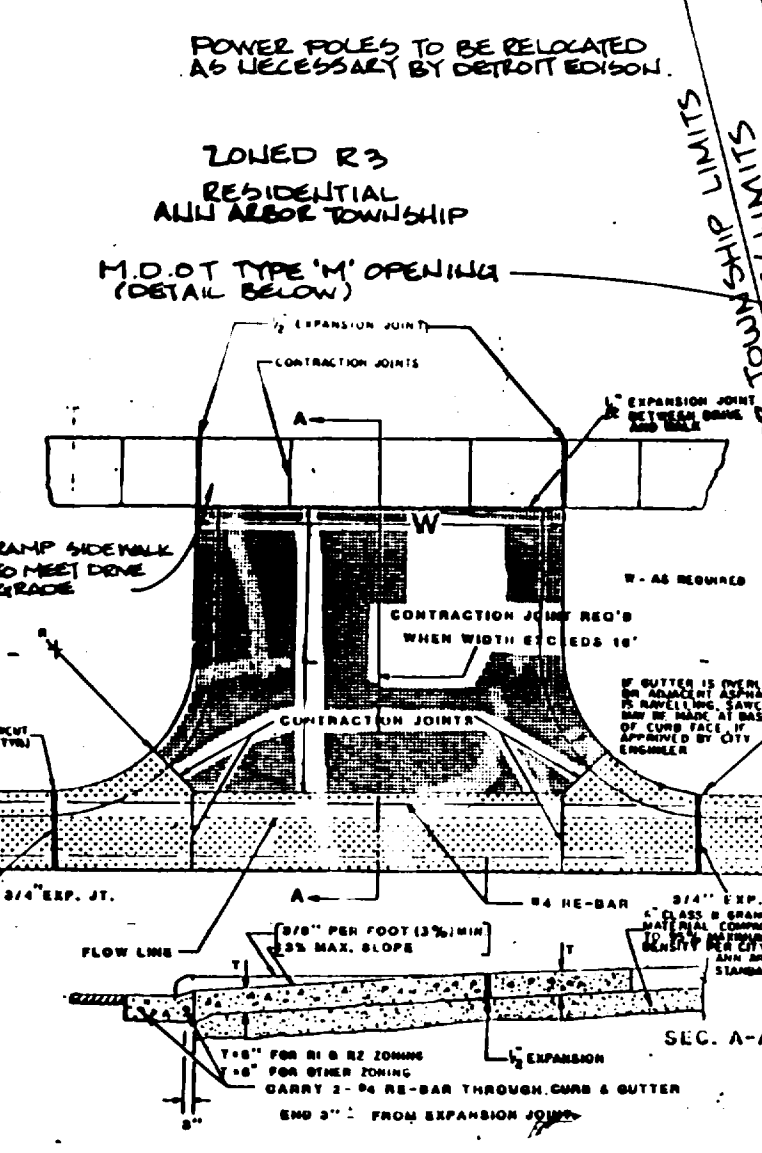
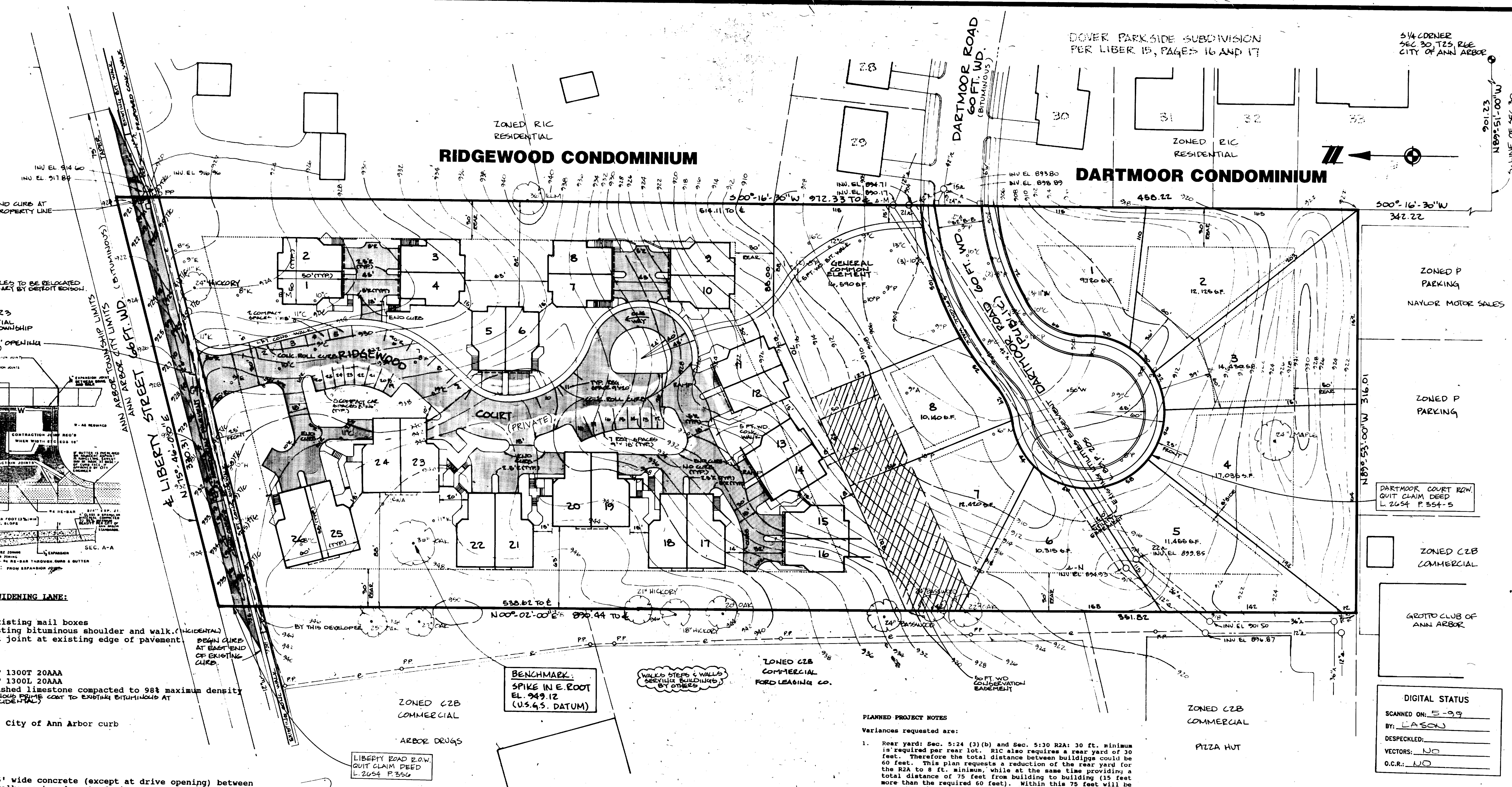
DR. JMH CH. BW

BOOK

JOB 39428

FILE NO.

414-68-1



**LIBERTY STREET WIDENING LANE:**

**REMOVAL:**  
 Relocate existing mail boxes  
 Remove existing bituminous shoulder and walk.  
 Machine cut joint at existing edge of pavement

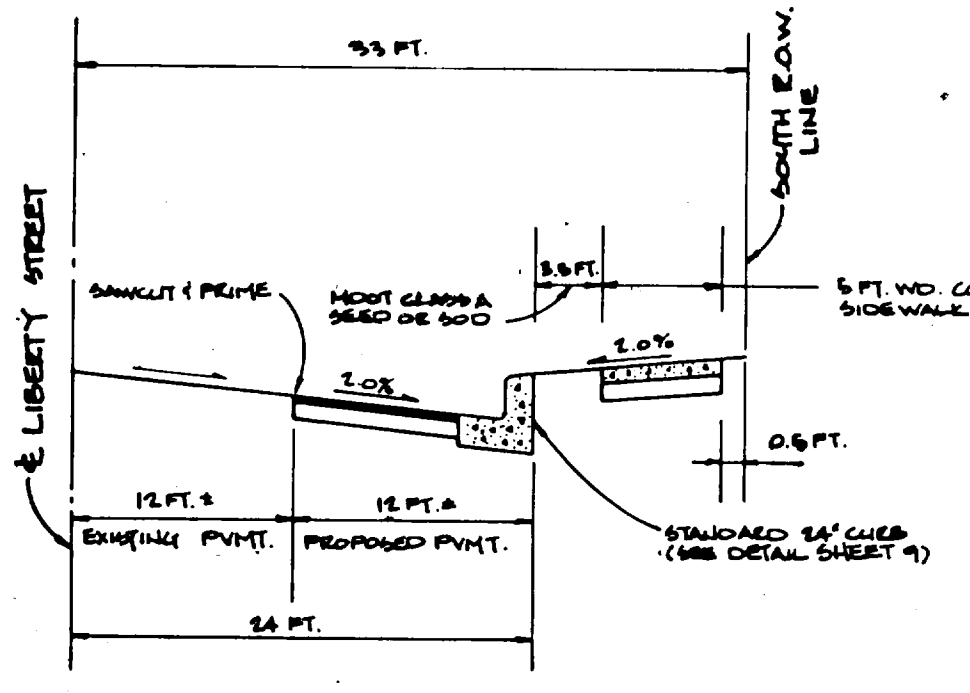
**PAVEMENT:**  
 1 1/2" MDOT 1300T 20AAA  
 1 1/2" MDOT 1300L 20AAA  
 8" 21AA crushed limestone compacted to 98% maximum density  
 Apply bituminous prime coat to existing bituminous at butt joint (width=14")

**CURB:**  
 Standard 6" City of Ann Arbor curb

**SIDEWALK:**  
 4" thick, 5' wide concrete (except at drive opening) between existing walks east and west of site  
 6" thick, 5' wide concrete across drive opening

**LEGEND**

- | EXISTING | PROPOSED |                        |
|----------|----------|------------------------|
| 934      | 934      | OUTLINE LINE ELEVATION |
| —        | —        | SPOT ELEVATION         |
| —        | —        | WATER MAIN             |
| —        | —        | SEWER                  |
| —        | —        | SAINTARY DRAIN         |
| —        | —        | HYDRANT                |
| —        | —        | CATCH BASIN / MANHOLE  |
| —        | —        | CONCRETE CURB          |
| —        | —        | LANDMARK TREES         |
| —        | —        | TREES 6" OR MORE       |
| A        | A        | ASH                    |
| C        | C        | COTONWOOD              |
| E        | E        | ELM                    |
| H        | H        | HICKORY                |
| O        | O        | OAK                    |
| M        | M        | MAPLE                  |
| P        | P        | POPLAR                 |
| S        | S        | SPRUCE                 |
| W        | W        | WILLOW                 |
| WA       | WA       | WALNUT                 |
| MO       | MB       | LOCATION OF MAILBOX    |
| —        | —        | BITUMINOUS             |



**BENCHMARK:**  
 SPIKE IN E. FOOT  
 EL. 949.12  
 (U.S.G.S. DATUM)

**DESCRIPTION OF A 3.05 AC. PARCEL OF LAND ZONED R1C (Single-Family Dwelling District)**  
 Commencing at the S 1/4 Corner of Section 30, T2S, R6E, Ann Arbor Township, Washtenaw County, Michigan; thence N89°51'W 901.23 feet along the south line of said section; thence N0°16'30"E 342.22 feet along the west line of Dover Parkside Subdivision as recorded in Liber 15, pages 16 and 17, Washtenaw County Records for a PLACE OF BEGINNING; thence N89°53'W 316.01 feet; thence N0°02'E 351.82 feet; thence N65°13'21"E 253.33 feet; thence S89°43'10"E 88.00 feet to the NW corner of Lot 29 of said subdivision; thence S0°16'30"W 458.22 feet along the west line of said subdivision to the Place of Beginning, being a part of the SW 1/4 of said Section 30, containing 3.05 acres of land more or less, and being subject to easements of record, if any.

**DESCRIPTION OF A 3.74 AC. PARCEL OF LAND ZONED R2A (Two-Family Dwelling District)**  
 Commencing at the S 1/4 Corner of Section 30, T2S, R6E, Ann Arbor Township, Washtenaw County, Michigan; thence N89°51'W 901.23 feet along the south line of said section; thence N0°16'30"E 800.44 feet along the west line of Dover Parkside Subdivision as recorded in Liber 15, pages 16 and 17, Washtenaw County Records to the NW corner of Lot 29 for a PLACE OF BEGINNING; thence N89°43'10"E 88.00 feet; thence S65°13'21"E 253.33 feet; thence N0°02'E 351.82 feet; thence N75°46'E 330.31 feet along the centerline of Liberty Street; thence S0°16'30"W 514.11 feet to the Place of Beginning, being a part of the SW 1/4 of said Section 30, containing 3.74 acres of land more or less, being subject to the rights of the public over the northerly 33.00 feet thereof as occupied by Liberty Street, and being subject to other easements of record, if any.

**LEGAL DESCRIPTION**

- PLANNED PROJECT NOTES**  
 Variances requested are:
- Rear yard: Sec. 5:24 (3)(b) and Sec. 5:30 R2A: 30 ft. minimum is required per rear lot. R1C also requires a rear yard of 30 feet. Therefore the total distance between buildings could be total distance of 75 feet from building to building (15 feet more than the required 60 feet). Within this 75 feet will be a 30 ft. wide conservation easement behind Units 11 through 16 to guarantee a permanent undisturbed natural buffer between the houses.
  - Distance between buildings: Sec. 5:30 requires the use of a formula for determining minimum distance between buildings. This plan requests the following minimum:
    - a. 15 ft. side to side with one exception of 13 ft.
- NOTES:**
- Owner/Developer is: Ketelaar Associates, 225 S. Ashley, Suite 203, Ann Arbor, Michigan 48104 (313)663-6196
  - Planner/Landscape Architect is: William J. Johnson Associates, Inc., 444 South Main Street, Ann Arbor, Michigan 48104 (313)668-7416
  - Architect is: Kadushin Associates, 1202 Packard, Ann Arbor, Michigan 48104 (313)663-3519
  - Engineer is: Atwell-Hicks, Inc., 1241 S. Maple/P.O. Box 2981, Ann Arbor, Michigan 48106 (313)994-4000
  - All units and lots will be sold as condominium units. Two condominiums will be established.
  - The condominium associations will be responsible for maintaining the landscape island in Dartmoor Road, and all of the general common elements (including the detention areas). This will be included in the Master Deeds and Bylaws.
  - Ridgewood Court will be a private street and a general common element in the condominium. Parking will be allowed on one side.
  - Refuse will be stored in cans in garages and taken by residents to curbside on Dartmoor Road and Ridgewood Court for pickup.

| SITE DATA             | SOUTH (SITE CONDOMINIUM) R1C     |                    |
|-----------------------|----------------------------------|--------------------|
|                       | PROPOSED                         | REQUIRED           |
| AREA                  | 3.05 Ac.                         |                    |
| Area in street R.O.W. | .47 Ac.                          |                    |
| Net Area              | 2.58 Ac.                         |                    |
| NUMBER OF LOTS        | 8                                | 15 (Max)           |
| DENSITY               | 3.1 Units/Ac.                    | 5.8 Units/Ac.      |
| LOT SIZE              |                                  |                    |
| Smallest              | 9,720 S.F.                       | 7,200 S.F. (Min.)  |
| Average               | 12,205 S.F.                      |                    |
| SITE DATA             | NORTH (BUILDING CONDOMINIUM) R2A |                    |
|                       | PROPOSED                         | REQUIRED           |
| AREA                  | 3.74 Ac.                         | 8,500 S.F. (Min.)  |
| Gross                 | 25 Ac.                           |                    |
| Ex. R.O.W.            | .40 Ac.                          |                    |
| Prop. R.O.W.          | 3.09 Ac.                         |                    |
| Net                   |                                  |                    |
| NUMBER OF UNITS       | 26 Units                         | 35 Units (Max)     |
| DENSITY               | 8.4 Units/Ac.                    | 10 Units/Ac. (Max) |
| BUILDING HEIGHT       | 20 to 29 Ft.                     | 30 Ft. (Max)       |
| PARKING               |                                  |                    |
| Garage Spaces         | 52 Spaces                        | 39 Spaces          |
| Exterior Spaces       | 26 Spaces                        |                    |
| Total                 | 78 Spaces                        |                    |

• See Planned Project note #3

**WILLIAM J. JOHNSON ASSOCIATES INC.**

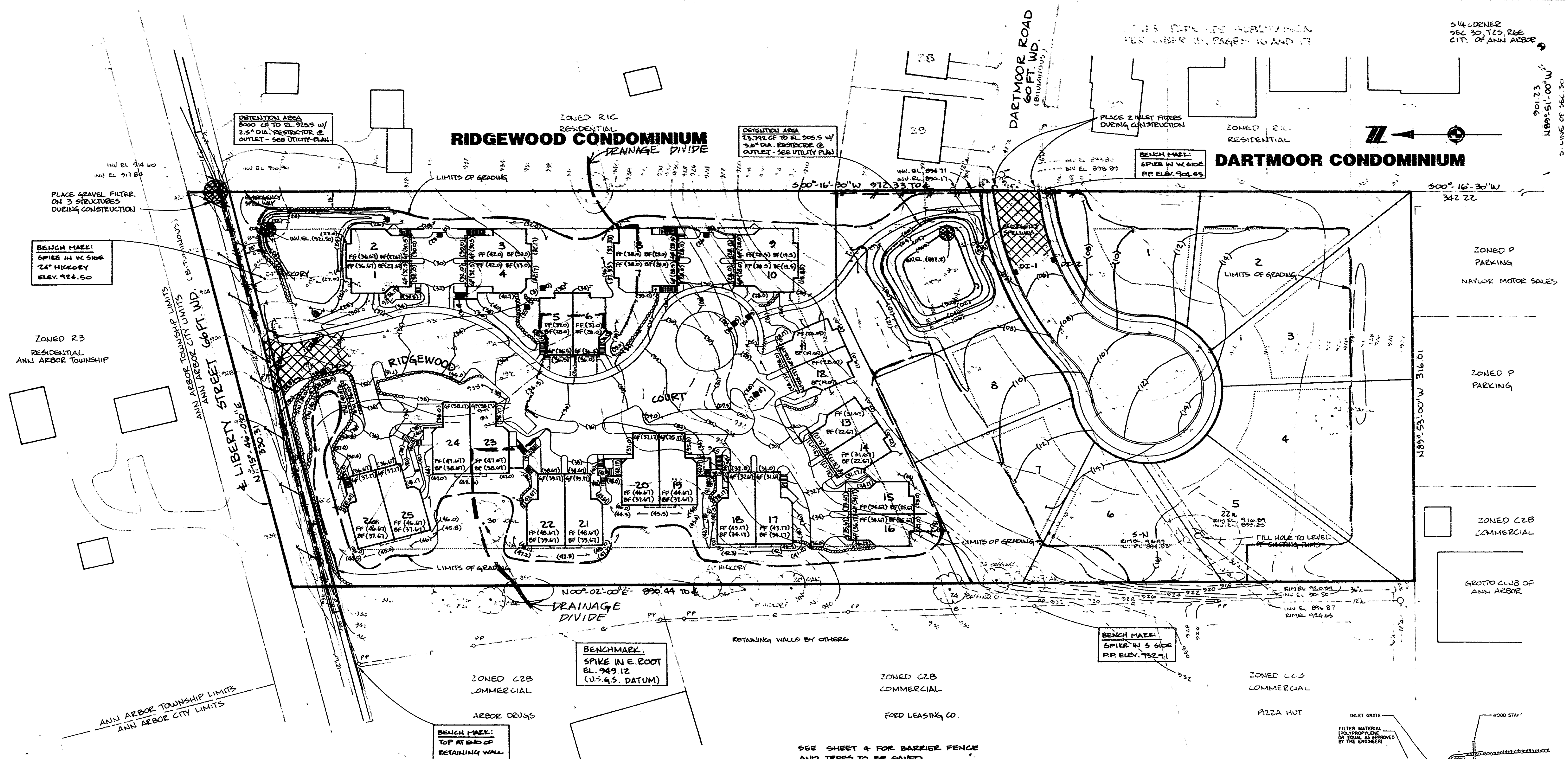
**PLANNING/LANDSCAPE ARCHITECTURE/URBAN DESIGN.**

444 South Main Street  
 Ann Arbor, Michigan 48104  
 (313) 668-7416  
 FAX: (313) 668-2525

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**ATWELL-HICKS, INC.**  
 CIVIL ENGINEERS • SURVEYORS • PLANNERS  
 313-994-4000 • FAX NO. 313-994-1599  
 ANN ARBOR, MICHIGAN

CLIENT: KETELAAR ASSOCIATES  
 IN THE SW1/4 OF SECTION 30 CITY OF ANN ARBOR  
 TOWN 2 SOUTH, RANGE 6 EAST  
 WASHTENAW COUNTY  
 RIDGEWOOD

REVISIONS  
 DATE: 6/24/91  
 SCALE: 1" = 40' FEET  
 DR. JMH CH. MB  
 BOOK X 592 P. 36-42  
 JOB 39428  
 FILE NO. 414-68-3

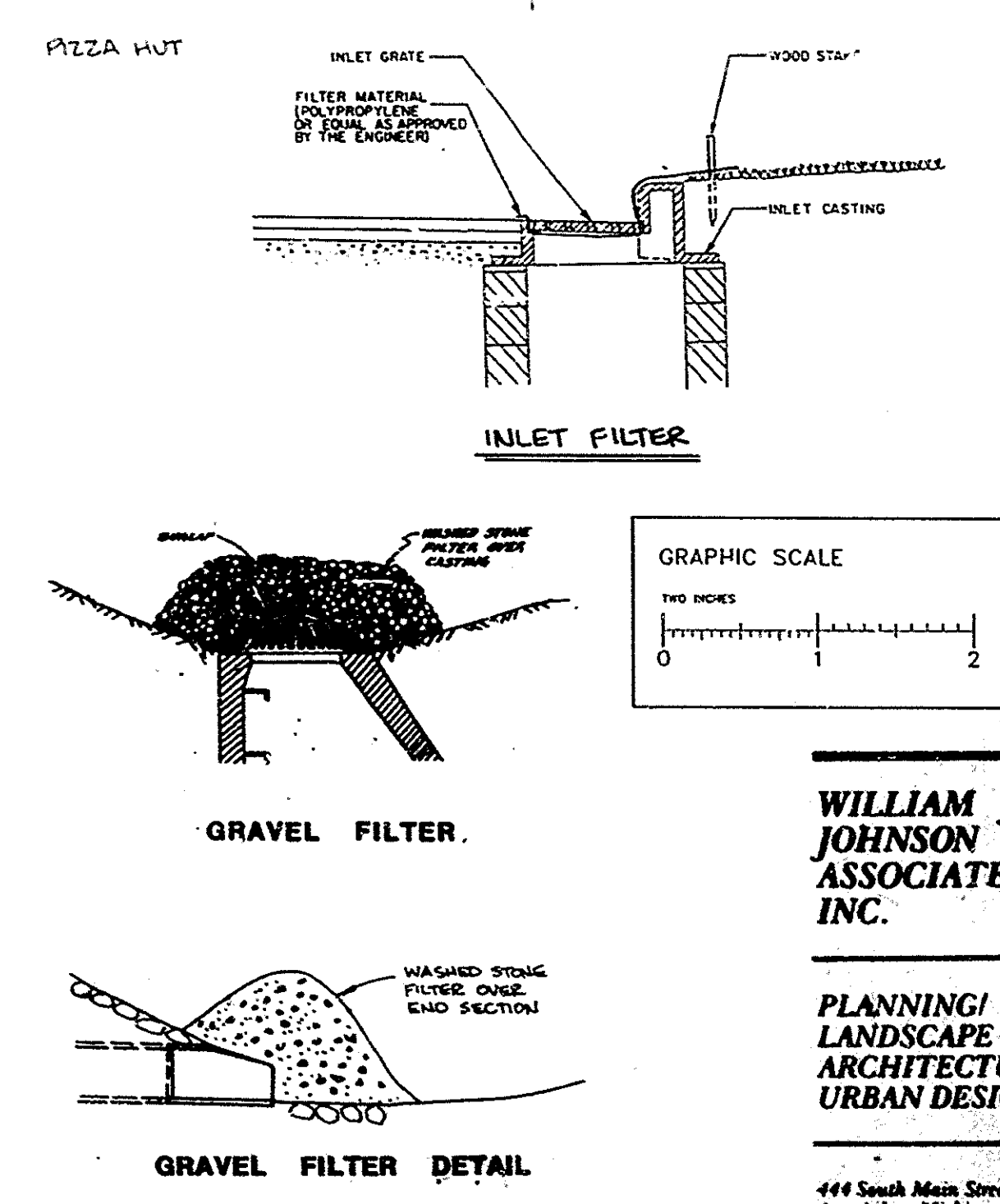
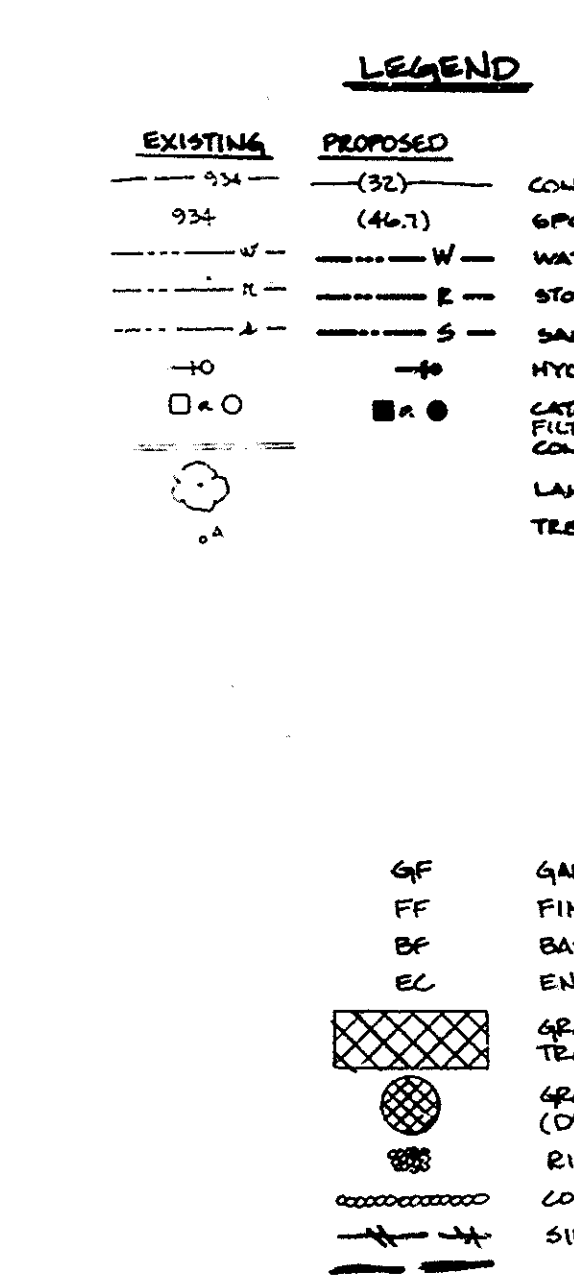
- GRADING AND EROSION CONTROL NOTES**
- Owner/Developer is:  
 Ketelaar Associates  
 225 S. Ashley, Suite 203  
 Ann Arbor, Michigan 48104  
 (313) 663-6196
  - Earthwork is estimated as follows:  
 10,250 CYD Cut  
 4,700 CYD Fill
  - Cost of soil erosion measures is estimated as follows:  
 (19 Inlet/gravel filters) x (\$50.00 each) = \$ 950.00  
 (130 LF silt fence) x (\$2.50/LF) = 325.00  
 (430 STD gravel tracking) x (\$2.00/STD) = \$860.00  
 Total = \$2,135.00
  - Construction is scheduled to start in late summer of 1991 and be completed the following year.
  - All erosion control and natural feature protection measures are to be installed immediately.
  - Detention areas are to be used as sediment traps during construction. All disturbed slopes to be mulched and/or seeded immediately following site construction.
  - Erosion control measures are to be inspected, maintained, cleaned and repaired as necessary by the contractor during construction until the soils are stabilized.
  - Following construction and sales, lawn areas, natural features areas, and detention areas are to be maintained and repaired as necessary by the individual owners and the Condominium Association.
  - All construction is to be in accordance with City of Ann Arbor Standards and Specifications.
  - All storm inlets are to be wrapped with filter fabric during construction.
  - Tributary areas: The area to the west, which appears to be tributary, apparently is not, since the paved areas appear to be served by storm sewers.
  - Soils are Miami Loam (from the "Soil Survey of Washtenaw County, Michigan," USDA, 1977).
  - Public and private streets will have the same pavement section.

**RETENTION DESIGN CALCULATIONS**

- NORTH DETENTION AREA**
  - DETERMINATION OF RUN-OFF COEFFICIENT**  
 Total area (1.58 Ac.) = 68,720 S.F.  
 Impervious area = 24,060 x .9 = 21,654 S.F.  
 Pervious area = 44,660 x .2 = 8,932 S.F.  
 30,586 + 68,720 = 44.58
  - STORAGE VOLUME REQUIRED**  
 100 yr. volume: 68,720 x 4.3/12 x 0.445 = 10,958 C.F.  
 10 yr. volume: 68,720 x 3.1/12 x 0.2 = 3,520 C.F.  
 7,438 C.F.
  - STORAGE VOLUME PROVIDED**

| Q     | h     | Area  | Volume     |
|-------|-------|-------|------------|
| 222.0 | 1.17  | 1,458 | 2,816 C.F. |
| 224.0 | 1.280 | 3,410 | 7,118 C.F. |
| 225.5 | 1.160 | 3,410 | 8,000 C.F. |
  - ALLOWABLE OUTFLOW**  
 $Q = 0.2 \text{ cfs/acre (existing conditions)}$   
 $Q = 0.2 \times 1.58 = 0.32 \text{ cfs}$
  - ORIFICE OUTLET SIZE**  
 $Q = CA\sqrt{2gh}$   
 $Q = 0.32 \text{ cfs}; h = 4.0$   
 $A = Q + C\sqrt{2gh}$   
 $A = 0.32 + 0.6\sqrt{2(32.2)(4.0)} = 0.033 \text{ S.F.} = 2.5" \text{ dia.}$
- SOUTH DETENTION AREA**
  - DETERMINATION OF RUN-OFF COEFFICIENT**  
 Total area (4.96 Ac.) = 216,154 S.F.  
 Impervious area = 77,235 x .9 = 69,512 S.F.  
 Pervious area = 138,919 x .2 = 27,783 S.F.  
 97,296 + 216,154 = 458
  - STORAGE VOLUME REQUIRED**  
 100 yr. volume: 216,154 x 4.3/12 x 0.45 = 34,855 C.F.  
 10 yr. volume: 216,154 x 3.1/12 x 0.2 = 11,168 C.F.  
 23,687 C.F.
  - STORAGE VOLUME PROVIDED**

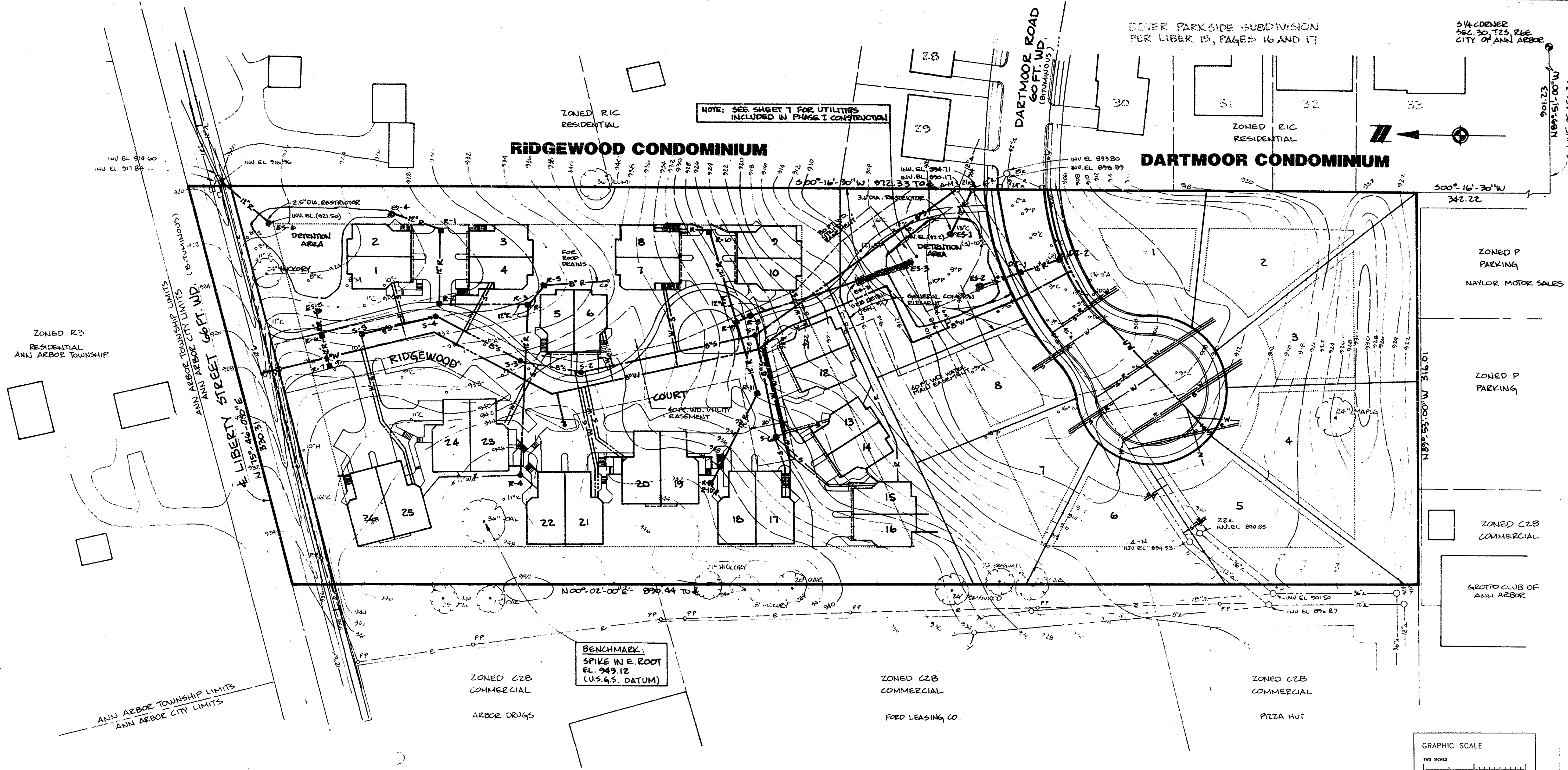
| Q     | h     | Area  | Volume      |
|-------|-------|-------|-------------|
| 200   | 2.300 | 6,078 | 12,156 C.F. |
| 202   | 2.450 | 4,082 | 8,164 C.F.  |
| 204   | 4.700 | 4,082 | 8,164 C.F.  |
| 205.5 | 5.840 | 5,148 | 10,302 C.F. |
  - ALLOWABLE OUTFLOW**  
 $Q = 0.2 \text{ cfs/acre (existing conditions)}$   
 $Q = 0.2 \times 4.96 = 0.99 \text{ cfs}$
  - ORIFICE OUTLET SIZE**  
 $Q = CA\sqrt{2gh}$   
 $Q = 0.99 \text{ cfs}; h = 6.0$   
 $A = 0.99 + 0.6\sqrt{2(32.2)(6.0)} = 0.0714 \text{ S.F.} = 3.6" \text{ dia.}$



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**WILLIAM J. JOHNSON ASSOCIATES INC.**  
 PLANNING/ LANDSCAPE ARCHITECTURE/ URBAN DESIGN  
 444 South Main Street  
 Ann Arbor, Michigan 48104  
 (313) 665-7416  
 FAX: (313) 668-2123

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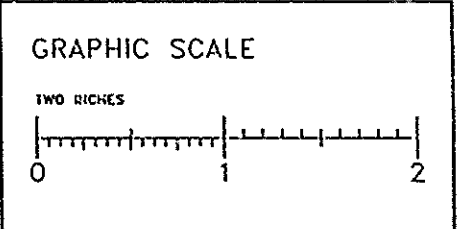


NOTE: SEE SHEET 7 FOR UTILITIES INCLUDED IN PHASE I CONSTRUCTION

**RIDGEWOOD CONDOMINIUM**

**DARTMOOR CONDOMINIUM**

BENCHMARK:  
SPIKE IN E. ROOT  
EL. 949.12  
(U.S.G.S. DATUM)



**LEGEND**

| EXISTING | PROPOSED | DESCRIPTION            |
|----------|----------|------------------------|
| ---      | (32)     | CONTOUR LINE ELEVATION |
| ---      | (44.7)   | SPOT ELEVATION         |
| ---      | ---      | WATER MAIN             |
| ---      | ---      | STORM SEWER            |
| ---      | ---      | SANITARY SEWER         |
| ---      | ---      | HYDRAULIC              |
| ○        | ●        | CATCH BASIN / MANHOLE  |
| ○        | ●        | CONCRETE CURB          |
| ○        | ○        | LANDMARK TREES         |
| ○        | ○        | TREES 8" OR MORE       |
|          |          | A = ASH                |
|          |          | C = COTONWOOD          |
|          |          | E = ELM                |
|          |          | H = HICKORY            |
|          |          | K = OAK                |
|          |          | M = MAPLE              |
|          |          | P = POPLAR             |
|          |          | S = SPRUCE             |
|          |          | W = WILLOW             |
|          |          | WA = WALNUT            |
|          |          | ⊠                      |
|          |          | NATURAL STONE RIP-RAAP |

**UTILITY NOTES:**

- Cleanouts will be placed every 100' on the sanitary sewer leads.
- The water main adjacent to Unit 11 is to be encased.
- The maximum depth of the sanitary sewer between Units 10 and 11 is 10 feet. Therefore the easement width is 30 feet (2D + 10).
- All sump discharges are to connect directly to the storm sewer or flow overland to the detention areas.

NOTE: SEE SHEETS 6, 7, & 8 FOR DETAILED UTILITY PLANS AND PROFILES.

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**WILLIAM J. JOHNSON ASSOCIATES INC.**

**PLANNING/ LANDSCAPE ARCHITECTURE/ URBAN DESIGN**

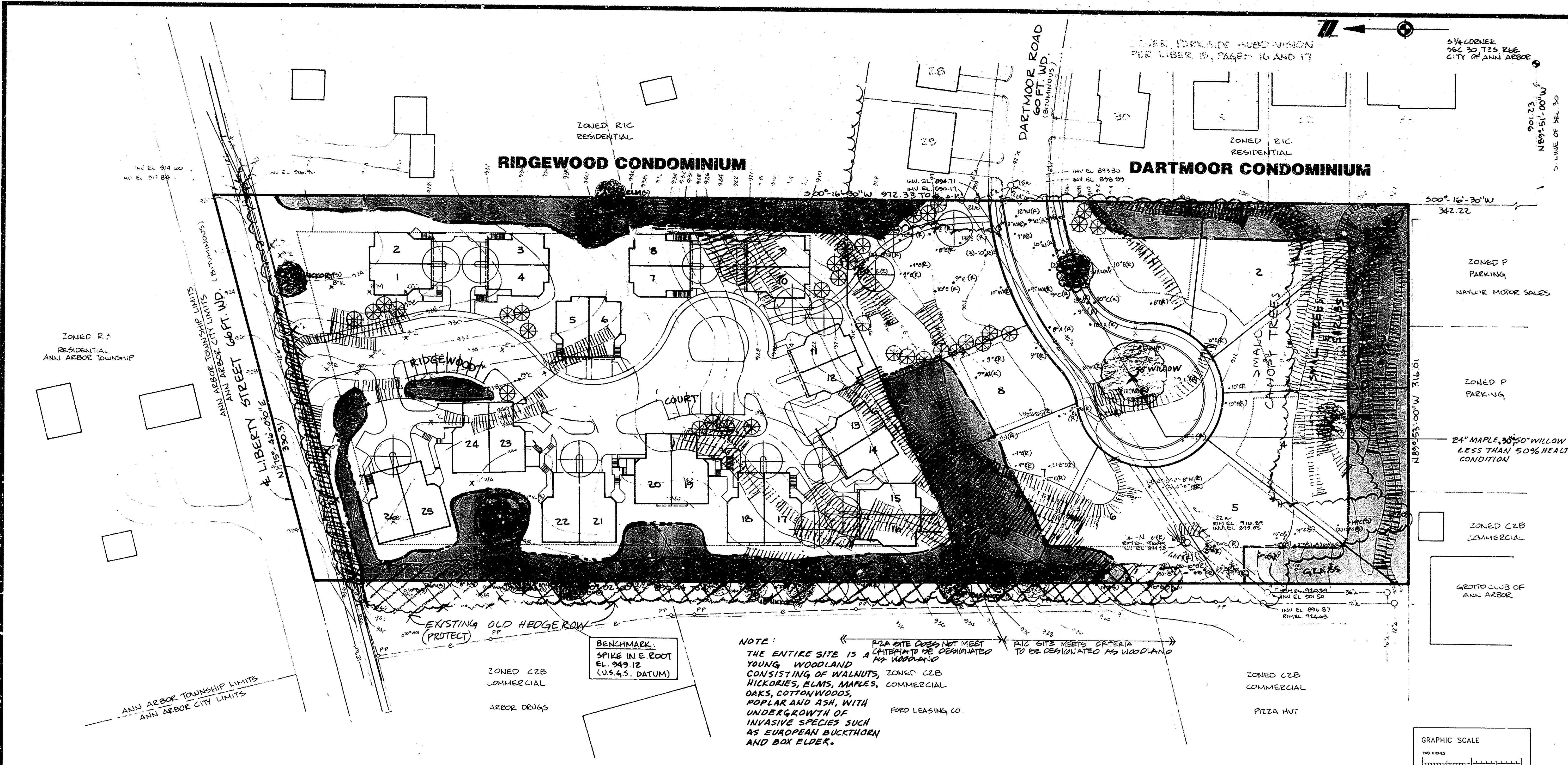
444 South Main Street  
Ann Arbor, Michigan 48104  
(313) 668-7416  
FAX: (313) 668-2323

**ATWELL-HICKS, INC.**  
CIVIL ENGINEERS • SURVEYORS • PLANNERS  
313-994-4000 • FAX NO. 313-994-1599  
ANN ARBOR, MICHIGAN

|                            |                              |
|----------------------------|------------------------------|
| CLIENT                     | KETELAAR ASSOCIATES          |
| IN THE SW 1/4 OF           | SECTION 30 CITY OF ANN ARBOR |
| TOWN 2 SOUTH, RANGE 6 EAST | UTILTY PLAN: RIDGEWOOD       |
| WASHTENAW COUNTY           |                              |

|           |                         |
|-----------|-------------------------|
| REVISIONS |                         |
| DATE      | 6/24/91                 |
| SCALE     | 1" = 40' FEET           |
| DR.       | JMH CR. MB              |
| BOOK      | X 552 P. 12-42 P. 12-43 |
| JOB       | 39428                   |
| FILE NO.  | 414-68-4                |

NOT AS-BUILT



**LEGEND**

| EXISTING | PROPOSED | DESCRIPTION                                    |
|----------|----------|--|
| ---      | ---      | CONTOUR LINE ELEVATION                         |
| ---      | ---      | SPOT ELEVATION                                 |
| ---      | ---      | WATER MAIN                                     |
| ---      | ---      | STORM SEWER                                    |
| ---      | ---      | SANITARY SEWER                                 |
| ---      | ---      | HYDRAULIC                                      |
| ---      | ---      | CATCH BASIN / MANHOLE                          |
| ---      | ---      | CONCRETE CURB                                  |
| ---      | ---      | LANDMARK TREES                                 |
| ---      | ---      | TREES 6" OR MORE                               |
| ---      | ---      | B = BOX ELDER                                  |
| ---      | ---      | A = ASH  |
| ---      | ---      | C = COTONWOOD                                  |
| ---      | ---      | E = ELM  |
| ---      | ---      | H = HICKORY                                    |
| ---      | ---      | K = OAK  |
| ---      | ---      | M = MAPLE                                      |
| ---      | ---      | P = POPLAR                                     |
| ---      | ---      | S = SPRUCE                                     |
| ---      | ---      | W = WILLOW                                     |
| ---      | ---      | WA = WALNUT                                    |
| ---      | ---      | H = HACKBERRY                                  |
| ---      | ---      | STEEP SLOPES: > 20%                            |
| ---      | ---      | BARRIER FENCE                                  |
| ---      | ---      | PROTECTED TREE TO BE PERMANENT                 |
| ---      | ---      | PROTECTED TREE TO BE SAVED                     |
| ---      | ---      | TREE TO BE REMOVED                             |
| ---      | ---      | EXISTING HEDGEROW TO BE SAVED                  |
| ---      | ---      | AREA OF NON DISTURBANCE TO EXISTING VEGETATION |

**BENCHMARK:**  
SPIKE IN E. ROOT  
EL. 949.12  
(U.S.G.S. DATUM)

**NOTE:**  
THE ENTIRE SITE IS A PIONEER WOODLAND CONSISTING OF WALNUTS, ZONED C2B HICKORIES, ELMS, MAPLES, COMMERCIAL OAKS, COTTONWOODS, POPLAR AND ASH, WITH UNDERGROWTH OF INVASIVE SPECIES SUCH AS EUROPEAN BUCKTHORN AND BOX ELDER.

**TREE REPLACEMENT CALCULATION & SPECIFICATION**

APPROPRIATE DBH OF PROTECTED (8" CAL.) TREES PROPOSED TO BE REMOVED FROM RIC SITE: 230"

REQUIRED APPROPRIATE DBH OF REPLACEMENT TREES: 149.5"

**PROPOSED TREE REPLACEMENT:**

- 19 OSHADE TREES - 3" - 3 1/2" CALIPER  
WHITE ASH, SUGAR MAPLE, RED OAK, HONEYLOCUST  
LONJAN PLANETABE
- 24 EVERGREEN TREES - 3" CALIPER, MIN.  
WHITE PINE, WHITE SPRUCE, SCOTCH PINE
- 49 REPLACEMENT TREES x 3" CAL. = 147 APPROXIMATE DBH

IF ADDITIONAL REPLACEMENT TREES ARE NEEDED, THEY WILL BE PLACED ON THE LOTS.

**NOTE:** PROPOSED TREES SHOWN ON THIS SHEET ARE BY OTHERS.

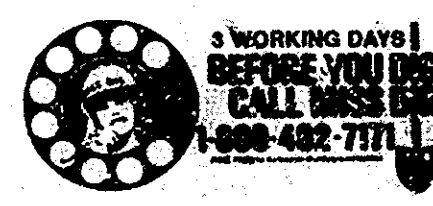
**NATURAL FEATURES PROTECTION PLAN**

**NOTES**

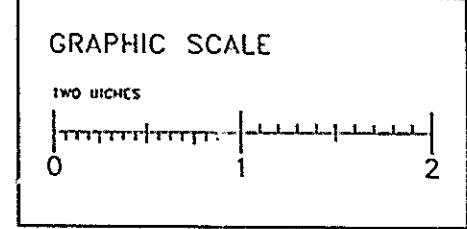
- All landmark trees are to be saved. Much of the site is a pioneer woodland and the plan calls for a 30 foot buffer (15 feet at three specific locations) to remain undisturbed. Areas of steep slopes are also being preserved as much as possible.
- The area of disturbance includes the area within the street rights of way, along utility routes, building areas and at the south detention area where grading and removal of trees will be necessary. The north detention area will require a minimal disturbance of the existing trees.
- Determination of Woodland (PARAGATE):  
A. Basal area per 1/2 ac.: Site: 24.6 S.F.; Min. = 30 S.F.  
B. Trees greater than 6" DBH/1/2 ac.: Site: 62; Min. = 20  
C. Average DBH/1/2 ac.: Site: 8"; Min. = 10"

Therefore, although the site has heavy, young growth, and can be considered a pioneer or young woods, it does not meet the three criteria for Woodland status.

- All areas to remain undisturbed will be protected by barrier fencing at least 4 feet in height as shown on plan. No filling, excavating, or storage of materials, debris, or equipment shall take place within the barrier fencing.
- WOODLAND CRITERIA (RIC SITE)**  
A. BASAL AREA PER 1/2 AC.: 24 S.F.  
B. TREES GREATER THAN 6" DBH PER 1/2 AC.: 62  
C. AVERAGE DBH PER 1/2 AC.: 8"



**NOTICE:**  
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**ATWELL-HICKS, INC.**  
CIVIL ENGINEERS • SURVEYORS • PLANNERS  
313-994-4000 • FAX NO. 313-994-1599  
ANN ARBOR, MICHIGAN

CLIENT: KETELAAR ASSOCIATES  
IN THE SW 1/4 OF SECTION 30 CITY OF ANN ARBOR  
TOWN 2 SOUTH, RANGE 6 EAST  
WASHTENAW COUNTY  
RIDGEWOOD

PER CITY REVIEW  
9/10/91 FOR CONSTRUCTION  
7/1/91 TREE CLARIFICATION BARRIER FENCE LOCATION NON-DISTURBED AREA PER CITY APPROVAL

8/14/91 8" TREES ADDED  
3/16/91 PER CITY REVIEW  
7/24/91 PER CITY REVIEW

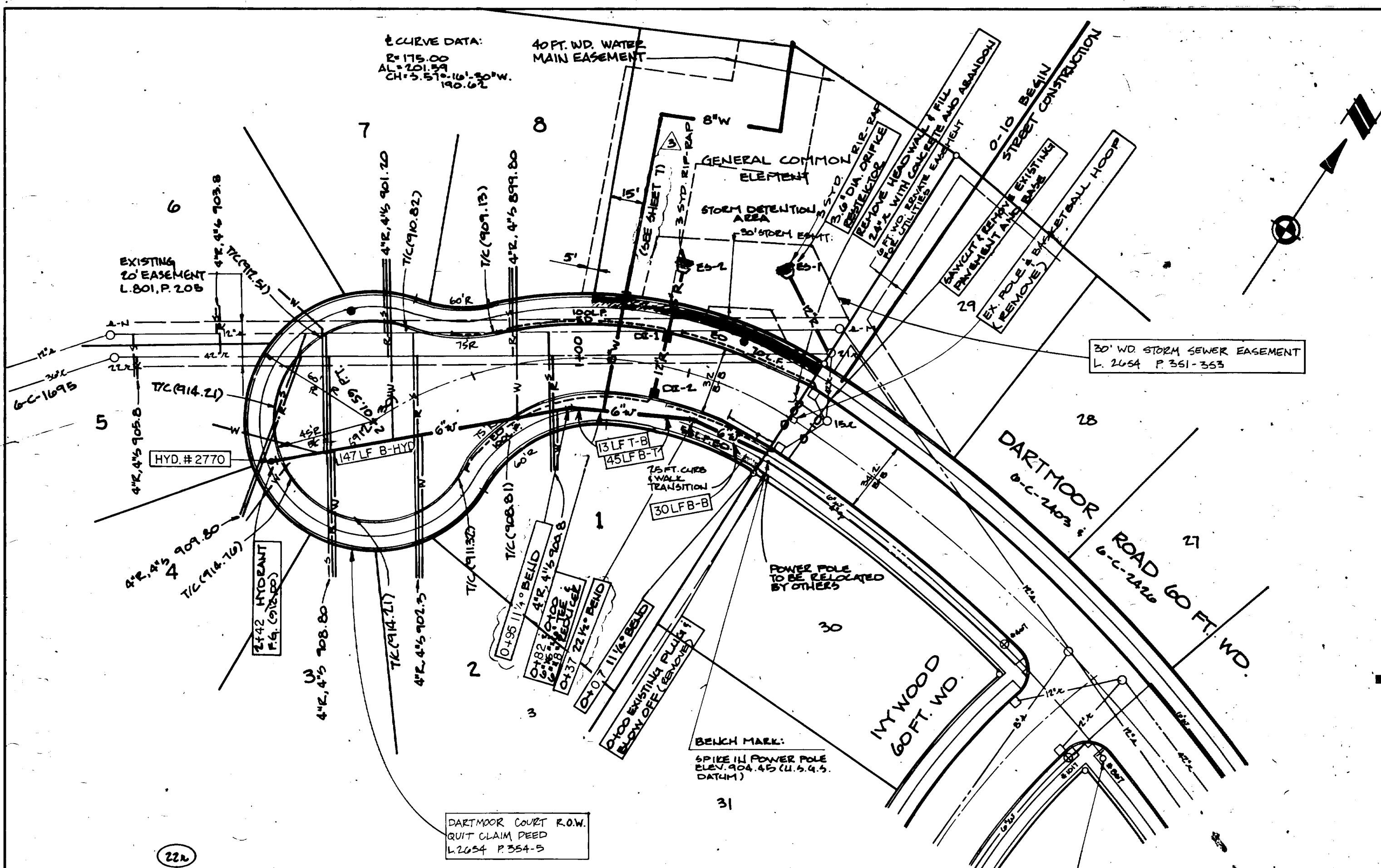
REVISIONS  
DATE: JUNE 21, 1991

**WILLIAM J. JOHNSON ASSOCIATES INC.**

PLANNING/ LANDSCAPE ARCHITECTURE/ URBAN DESIGN  
444 South Main Street  
Ann Arbor, Michigan 48104  
(313) 668-7416  
FAX: (313) 668-2525

SCALE: 1" = 40 FEET  
DR. JWH CH. MB  
BOOK X592 P. 96-98  
JOB 33428  
FILE NO. 414-68-5

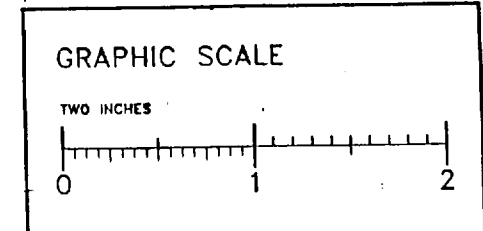
NOT AS BUILT



**STRUCTURE SCHEDULE**

| STRUCTURE | STRUCTURE TYPE | CASTING EJM OR EQUAL | TOP OF CASTING ELEVATION | MANHOLE INVERT | MANHOLE DEPTH |
|-----------|----------------|----------------------|--------------------------|----------------|---------------|
| DI-1      | Double Inlet   | 7065                 | 904.93                   | 900.58         | 4.35          |
| DI-2      | Double Inlet   | 7065                 | 904.93                   | 901.38         | 3.55          |

**NOTE:** SIDEWALK IN FRONT OF GENERAL COMMON ELEMENT IS INCLUDED IN THIS CONTRACT, ALL OTHER SIDEWALK BY OTHERS.



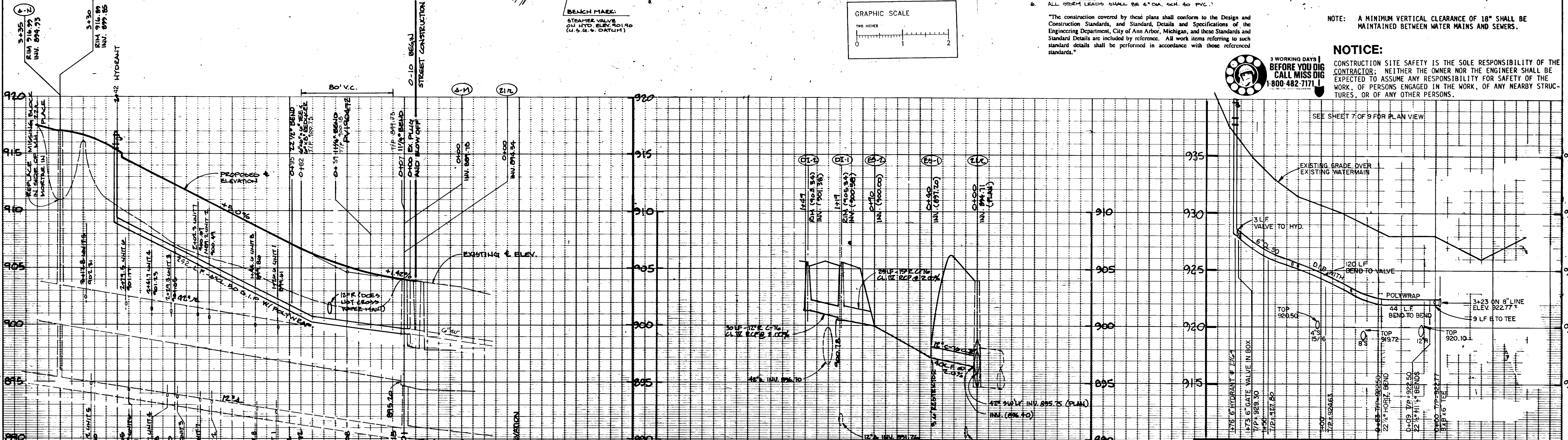
- WATER MAIN CONSTRUCTION NOTES**
- All work and materials to be in accordance with City of Ann Arbor standards. Contractor will be required to install and test new water main prior to connection to existing water main. All water mains to be Class 50 ductile iron pipe with polywrap.
  - All work will be under the inspection of the City of Ann Arbor Engineering Department. Contractor shall arrange for all inspection and pay the cost of same, including inspection of main, backfill compaction tests and traffic control to be performed under this work.
  - All paved areas existing and proposed to be backfilled with MDOT Class II (or approved equal) granular material (well graded) compacted to 95% of maximum density at optimum moisture content, per AASHTO-T-180, and paved per City standards.
  - All water mains to have 5'-6" cover unless otherwise directed by the Engineer.
  - All incidental items such as rodding, thrust blocks, and blow offs to be installed by Contractor to meet requirements of Engineering Department. Note: City forces must install corporations at Contractor's expense.
  - All fire hydrants to be East Jordan Iron Works Model 6-BR, with traffic flange.
  - New water main to be in public road right-of-way or 40 ft. min. width private easement for public utilities.
  - Thrust blocks will be required at all tees, hydrants, plugs or changes in direction in accordance with City of Ann Arbor Utilities Department standards.
  - City will open and close all existing valves.
  - ALL WATER LEADS SHALL BE 1" DIA. TYPE K COPPER.
- PREPARED BY: CITY OF ANN ARBOR JOB NO. 91063-15  
Allen R. Suggitt, P.E. #12414
- APPROVED BY: MHP PERMIT NO. W 91076
- GENERAL NOTES:**
- Remove all topsoil as needed and stockpile at locations designated by the owner.
  - Fill material shall not contain any vegetation or have stones in excess of 4" in diameter. Fill shall be placed in layers not greater than 9" in depth (loose meas.) and shall be compacted to 95% of the maximum density as determined by the modified Proctor density test A.S.T.M. Spec. D-1557-78.
  - All refuse, including trees, stumps, brush, structures, etc., shall be disposed of in a legal manner.
  - It shall be the contractor's responsibility to verify and/or obtain any information necessary regarding the presence of underground utilities which might affect this job. 72 hours prior to any excavation the contractor shall telephone Miss Dig (1-800-482-7171) for location of underground gas and cable utilities located in the vicinity of the work. Location of existing utilities are shown approximate only, contractor to verify.
  - It shall be the Contractor's responsibility to proof roll all disturbed areas. Any unsuitable soils indicated by proof rolling shall be removed and replaced with controlled fill at the direction of the engineer or the owner's representative.
  - Erosion control measures are to be inspected, maintained, cleaned and/or repaired as required by the Contractor during construction. Following construction the owner is to maintain permanent erosion control measures such as lawns and trees.
  - Following construction all disturbed areas shall be spread with 4" minimum topsoil, fertilized and seeded with MDOT Class A seed and mulched. (SEED TO BE FROM ON SITE STOCKPILE)
  - No trees or shrubs shall be disturbed without the approval of the owner.
  - Where new pavement abuts existing pavement, the existing shall be sawcut and a bituminous bond coat shall be applied to form a clean butt joint.
  - All utility trenches under or within the 1:1 influence of edge of pavements shall be backfilled with MDOT Class II porous material placed in layers 12" thick or less and compacted to 95% of its maximum unit weight.
  - The contractor shall be responsible for repair of any damage to existing utility lines due to the work.
  - Street lights to be installed in accordance with current City of Ann Arbor Standards.
  - All bedding shall be MDOT Class II (or approved equal) granular material (well graded).
  - Water leads shall be separated from sewer leads by 12" minimum vertical shelving when placed in the same trench.
  - Service lead connections to existing sewers shall be made by the Ann Arbor Utilities Department. Scheduling of these taps shall be made with the Utilities Department by the contractor.
  - All sanitary and storm leads shall be 4" in diameter.
  - All water leads shall be 1" in diameter.

- STORM SEWER CONSTRUCTION NOTES:**
- All utility trenches under or within the 1:1 influence of edge of pavement shall be backfilled with MDOT Class II porous material placed in layers 12" thick or less and compacted to 95% of maximum density at optimum moisture content per AASHTO-T-180.
  - All storm sewer leads to be constructed under a permit from City of Ann Arbor Building Department.
  - All storm sewer pipe shall be C-76 CL IV RCP, unless indicated otherwise.
  - All inlet grates are to be wrapped with filter material. See Detail.
  - All storm inlets/catchbasins are to have 2' sumps.
  - ALL STORM LEADS SHALL BE 4" DIA. SCH. 40 PVC.
- NOTE:** A MINIMUM VERTICAL CLEARANCE OF 18" SHALL BE MAINTAINED BETWEEN WATER MAINS AND SEWERS.

The construction covered by these plans shall conform to the Design and Construction Standards, and Standard Details and Specifications of the Engineering Department, City of Ann Arbor, Michigan, and these Standards and Standard Details are included by reference. All work items referring to such standard details shall be performed in accordance with those referenced standards.



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**LEGEND:**

|                       |                      |                     |                            |
|-----------------------|----------------------|---------------------|----------------------------|
| UNDERGROUND UTILITIES | EXISTING SANITARY    | EXISTING STORM      | EXISTING WATER             |
| PROFILES              | PROPOSED SANITARY    | PROPOSED STORM      | PROPOSED WATER             |
|                       | EXISTING CENTER LINE | PROPOSED LIGHTPOLE  | PROPOSED TOP OF CURB GRADE |
|                       | PROPOSED CENTER LINE | PROPOSED EDGE DRAIN | PROPOSED PAVEMENT GRADE    |
|                       |                      | 35Y RIPRAP          |                            |

**BENCH MARK CITY # 51 SW COR. LIBERTY & DARTMOOR**

|                                   |
|-----------------------------------|
| ELEV. 898.95                      |
| HYDRANT SE COR. DARTMOOR & MYWOOD |
| ELEV. 901.90                      |

**CROSS-LOT STORM SEWER**

|                 |        |         |
|-----------------|--------|---------|
| AS-BUILT        | NCF    | 6/16/92 |
| PER CITY REVIEW | CEB    | 4/12/91 |
| MINOR ADDITIONS | JRS/MB | 7/16/91 |
| STREET GRADE    | CEB/MB | 9/3/91  |

**ENGINEERING DEPARTMENT - CITY OF ANN ARBOR**

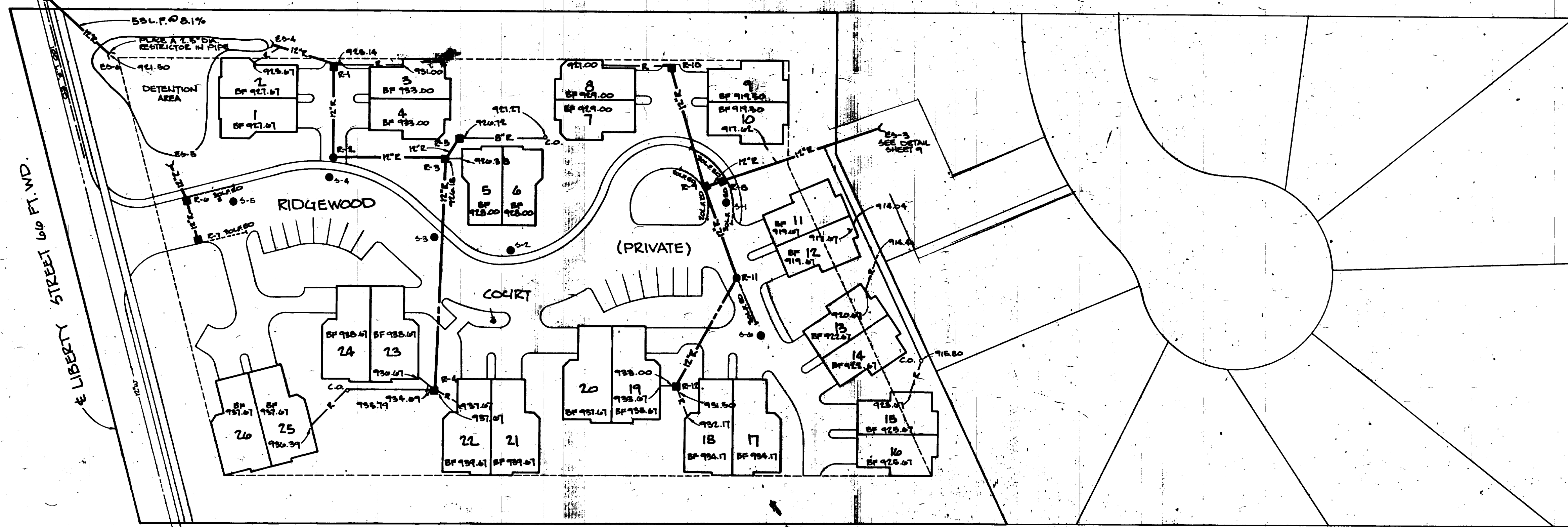
**CURB AND GUTTER WATER MAIN DARTMOOR ROAD "AS-BUILT" RIDGEWOOD CONDOMINIUM**

**SCALE**  
HORZ. 1" = 40'  
VERT. 1" = 4'  
INCH DRAWING NO. 91063-W  
SHEET NO. 6 OF 9

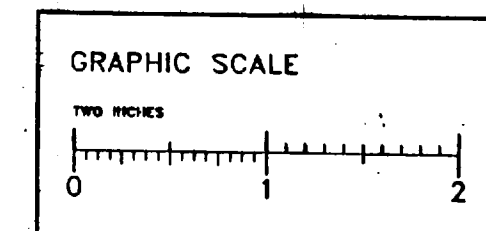
PREPARED BY ATWELL-HICKS, INC. Job No. 34425 File No. 414-66-6

RIDGEWOOD CONDOMINIUM

DARTMOOR CONDOMINIUM



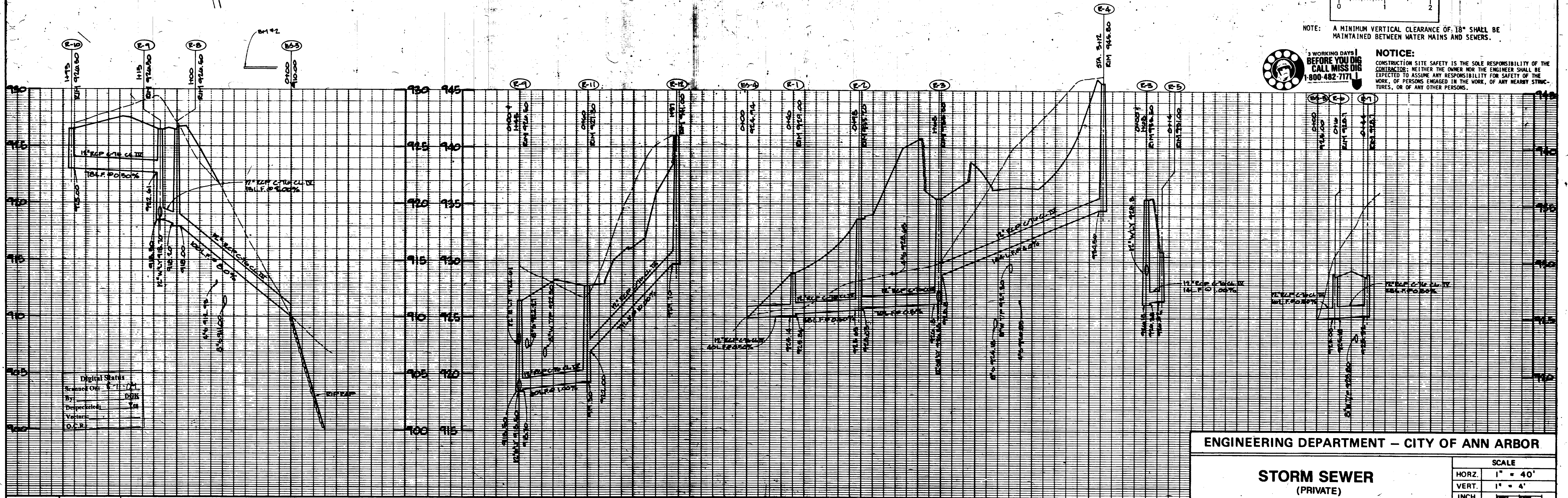
| Structure No. | Rim Elev. | DESCRIPTION               | Diameter | R.S.I.W. Casting |
|---------------|-----------|---------------------------|----------|------------------|
| R-1           | 929.00    | Inlet-Junction Chamber    | 3'       | 5080-R2          |
| R-2           | 933.20    | Inlet-Junction Chamber    | 3'       | 1040-A           |
| R-3           | 935.50    | Standard Manhole (Type 1) | 4'       | 5080-R2          |
| R-4           | 945.80    | Standard Manhole (Type 1) | 4'       | 5080-R2          |
| R-5           | 931.00    | Single Inlet              | 2'       | 5080-R2          |
| R-6           | 928.70    | Inlet-Junction Chamber    | 3'       | 7065             |
| R-7           | 928.70    | Single Inlet              | 2'       | 7065             |
| R-8           | 926.50    | Inlet-Junction Chamber    | 3'       | 7065             |
| R-9           | 926.50    | Standard Manhole (Type 1) | 4'       | 7065             |
| R-10          | 926.50    | Single Inlet              | 2'       | 5080-R2          |
| R-11          | 927.80    | Inlet-Junction Chamber    | 3'       | 5080-R2          |
| R-12          | 941.00    | Standard Manhole (Type 1) | 4'       | 5080-R2          |



NOTE: A MINIMUM VERTICAL CLEARANCE OF 18" SHALL BE MAINTAINED BETWEEN WATER MAINS AND SEWERS.



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| LEGEND: | UNDERGROUND UTILITIES | PROFILES |
|---------|-----------------------|----------|
| ○       | EXISTING SANITARY     | —        |
| ○       | PROPOSED SANITARY     | ---      |
| ○       | EXISTING STORM        | —        |
| ○       | PROPOSED STORM        | ---      |
| ○       | EXISTING WATER        | —        |
| ○       | PROPOSED WATER        | ---      |
| ○       | PROPOSED MOUND DRAIN  | —        |
| ○       | EXISTING GRADE        | ---      |
| ○       | PROPOSED GRADE        | ---      |

BENCH MARK OF CITY BM 9871 SW CORNER LIBERTY AND DARTMOOR ELEV. 948.98  
 84' TOP AT NORTH END RESTAURANT WEL 310  
 W. OF NW CORN. OF SITE ELEV. 942.87

| NO. OR LETTER | REVISIONS | DR. BY | DATE   |
|---------------|-----------|--------|--------|
| 1-SEL         | CEB       | BM     | 9/2/91 |
| SURVEY BOOK   | DR. BY    | CH. BY | DATE   |

ENGINEERING DEPARTMENT - CITY OF ANN ARBOR

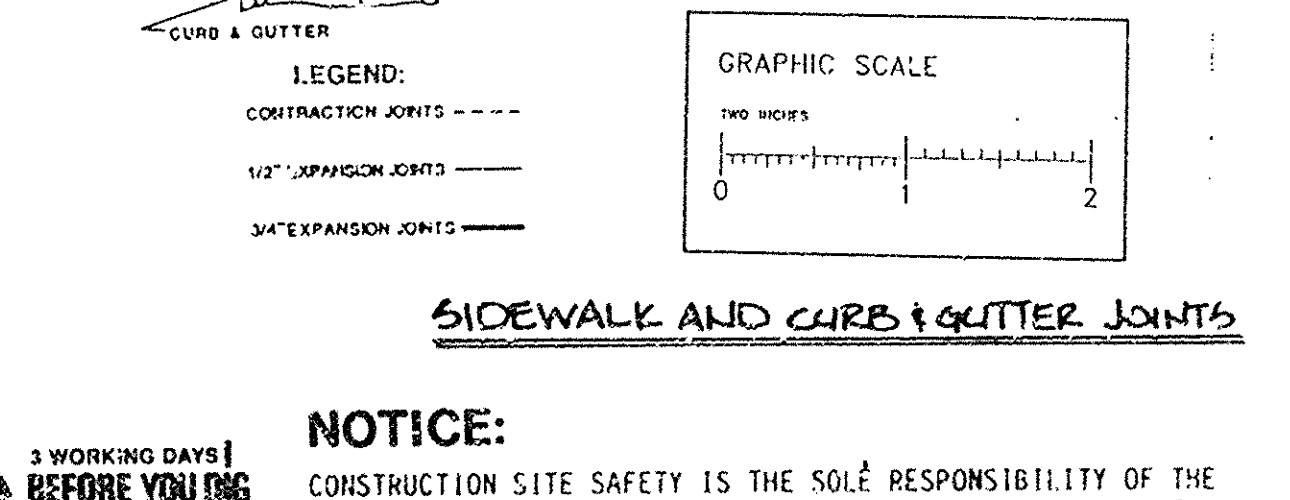
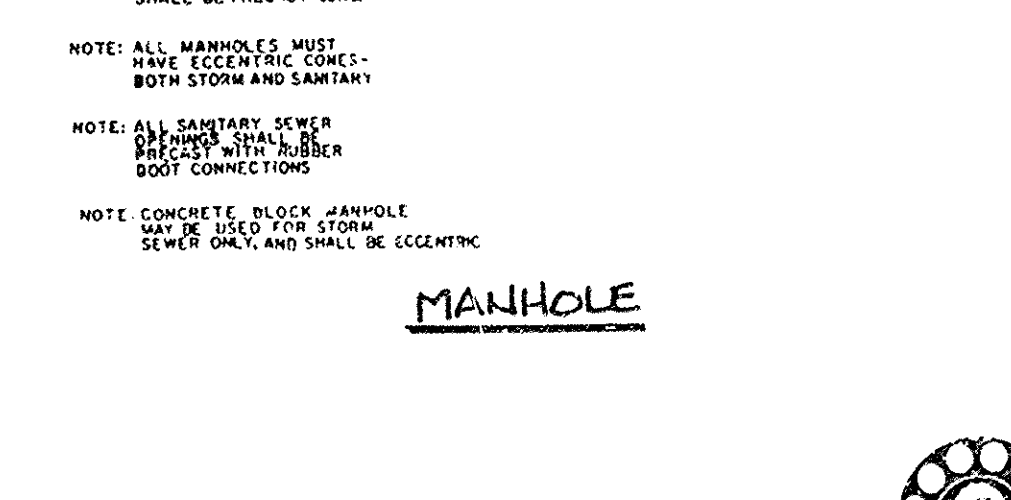
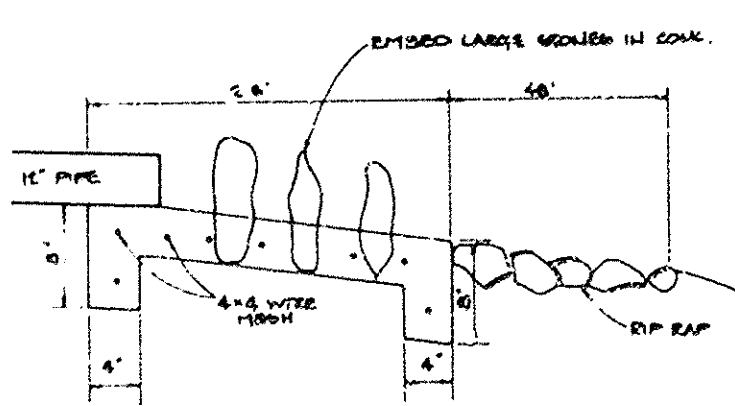
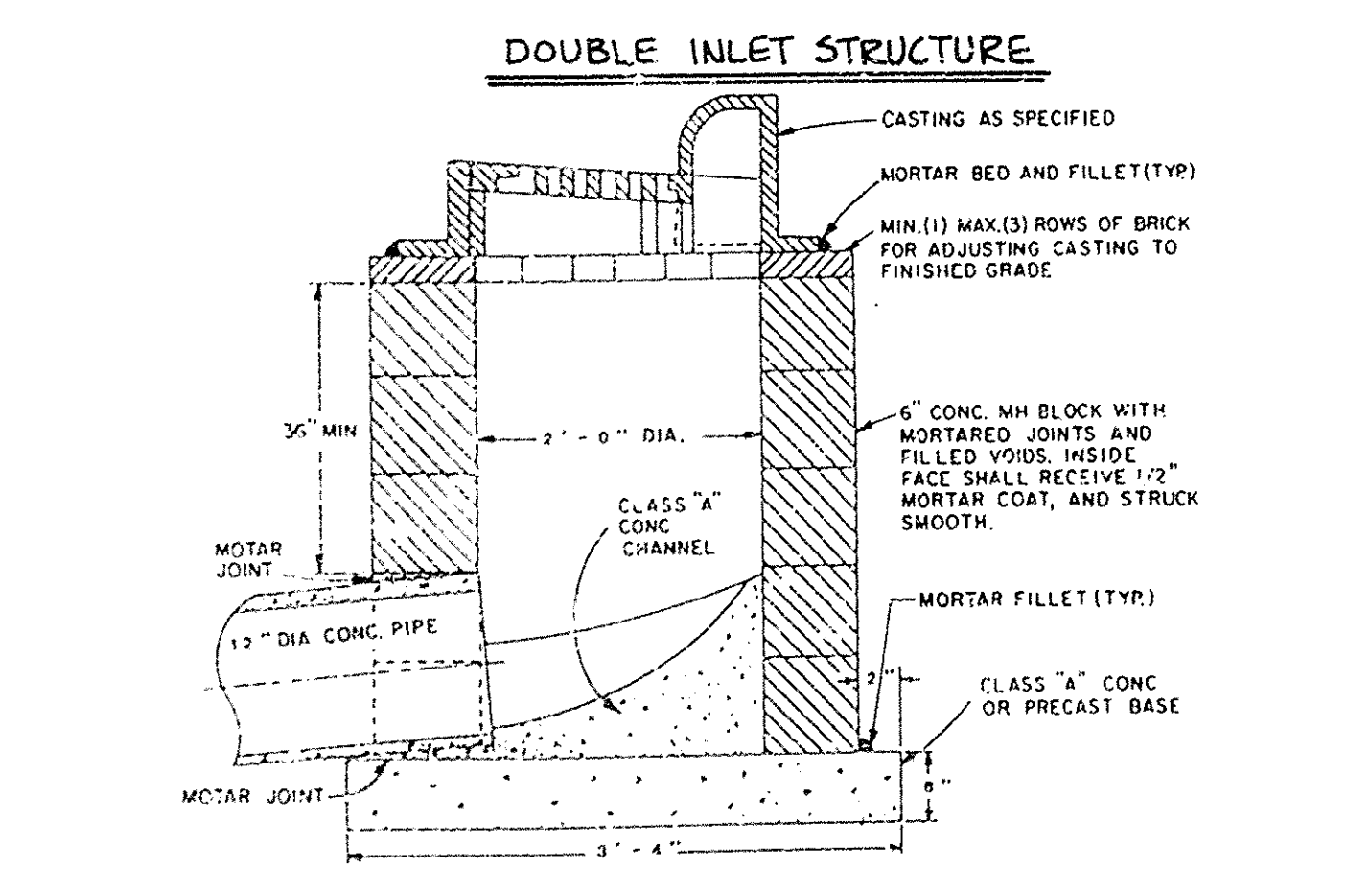
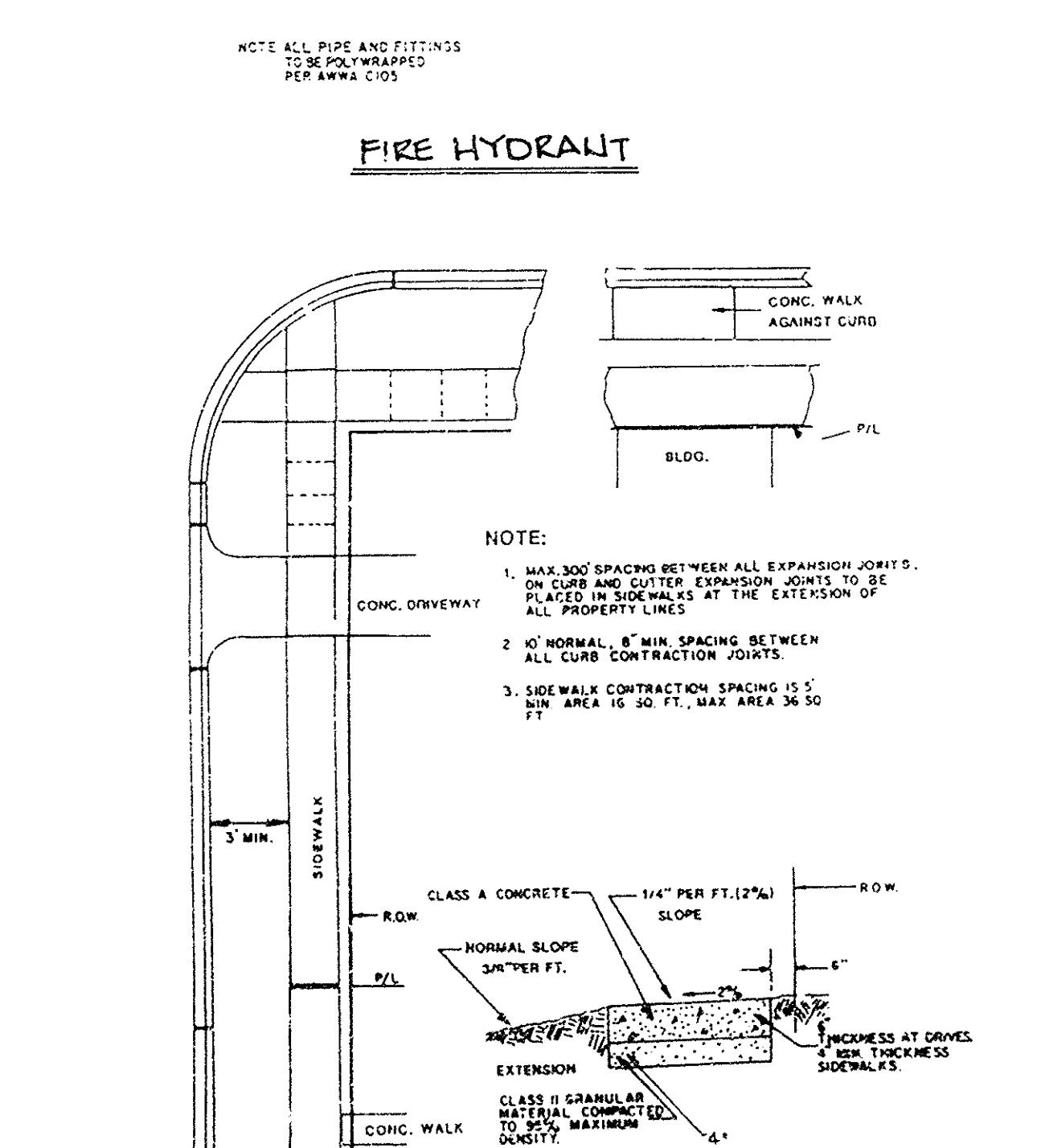
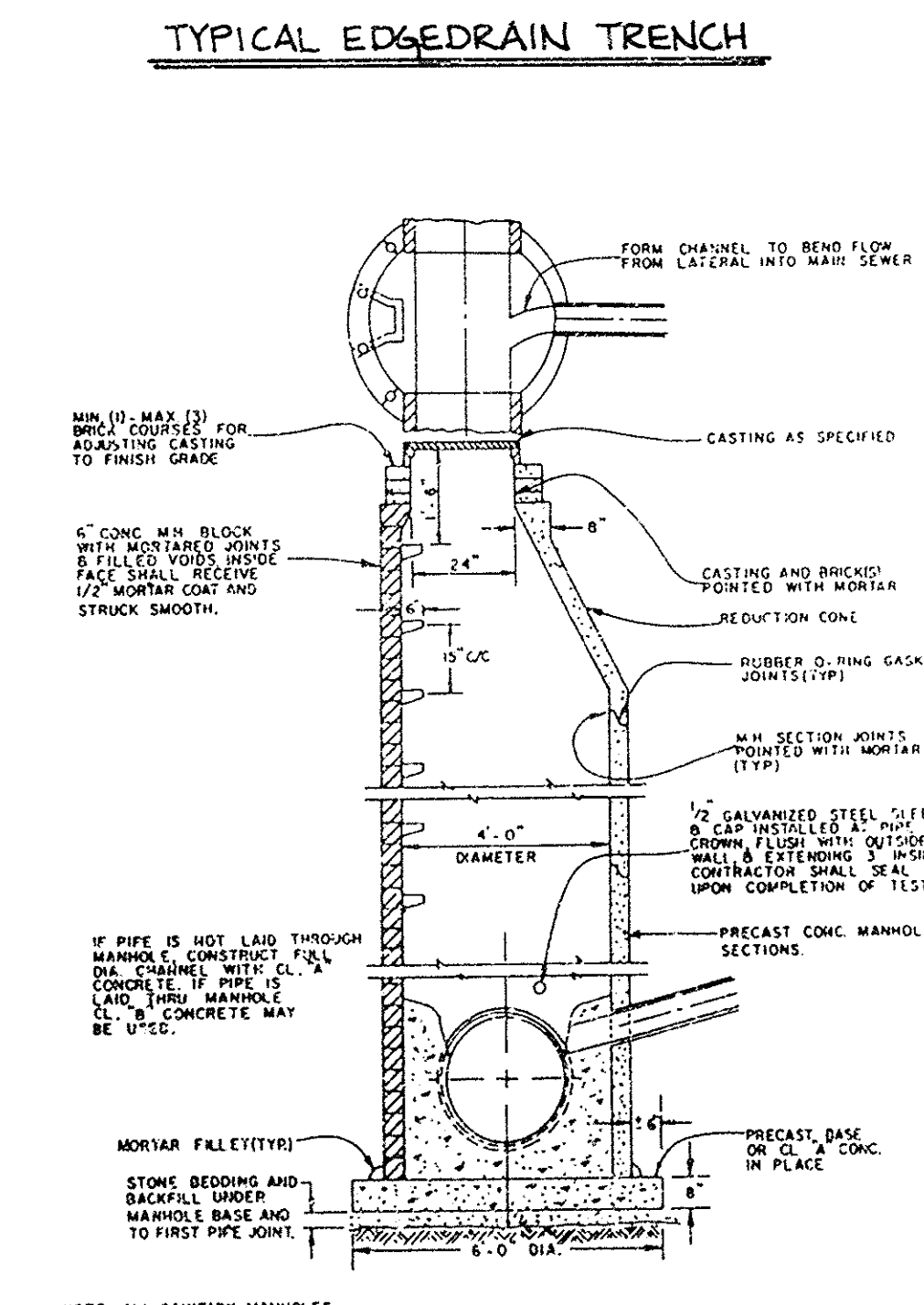
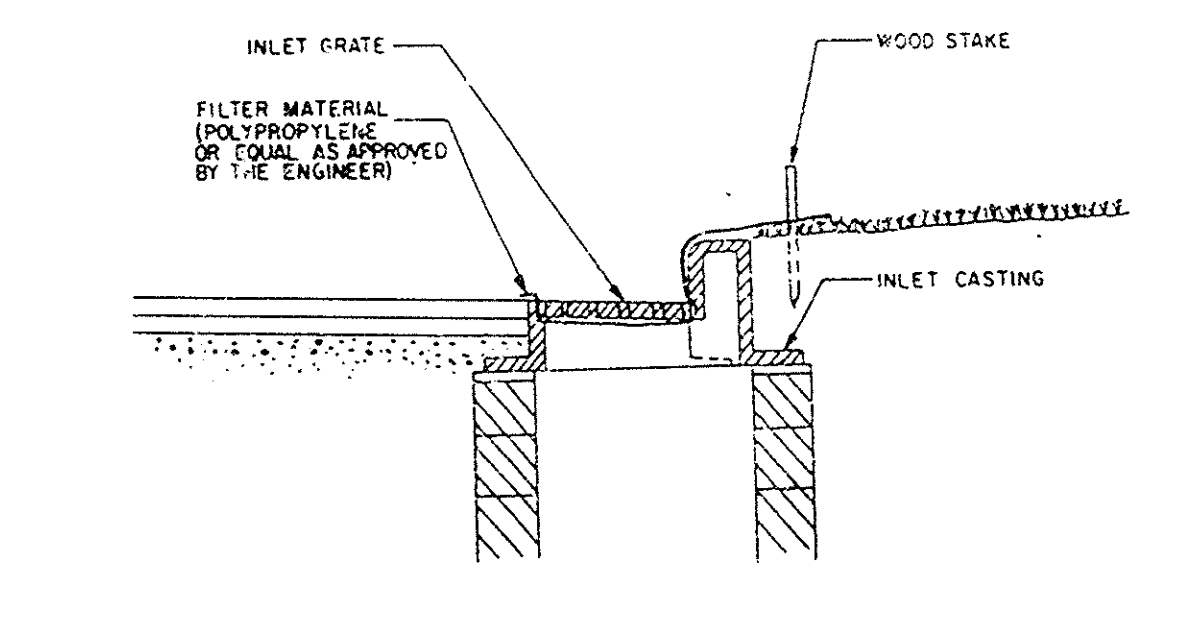
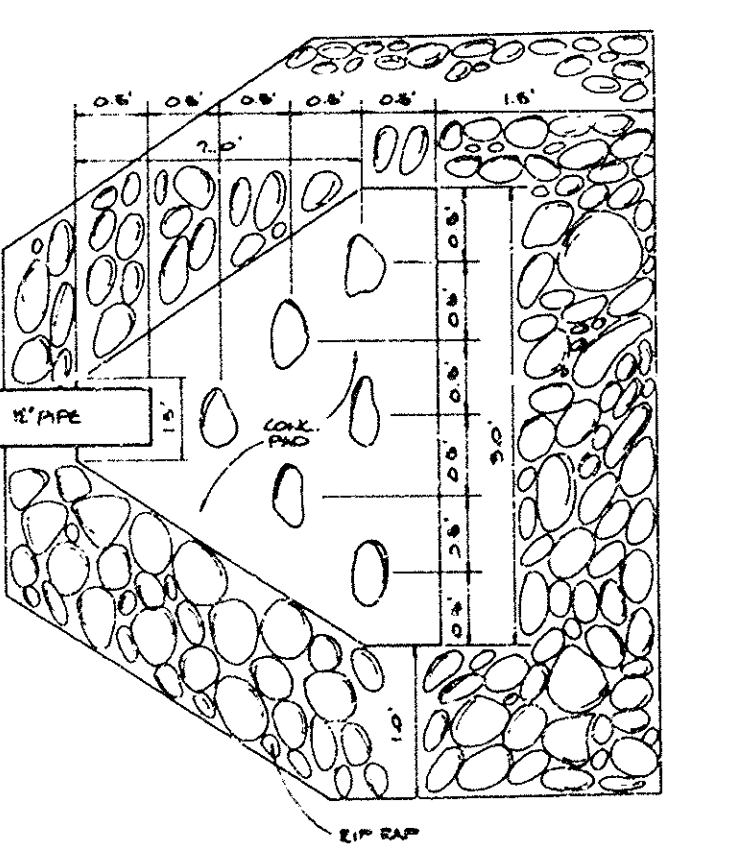
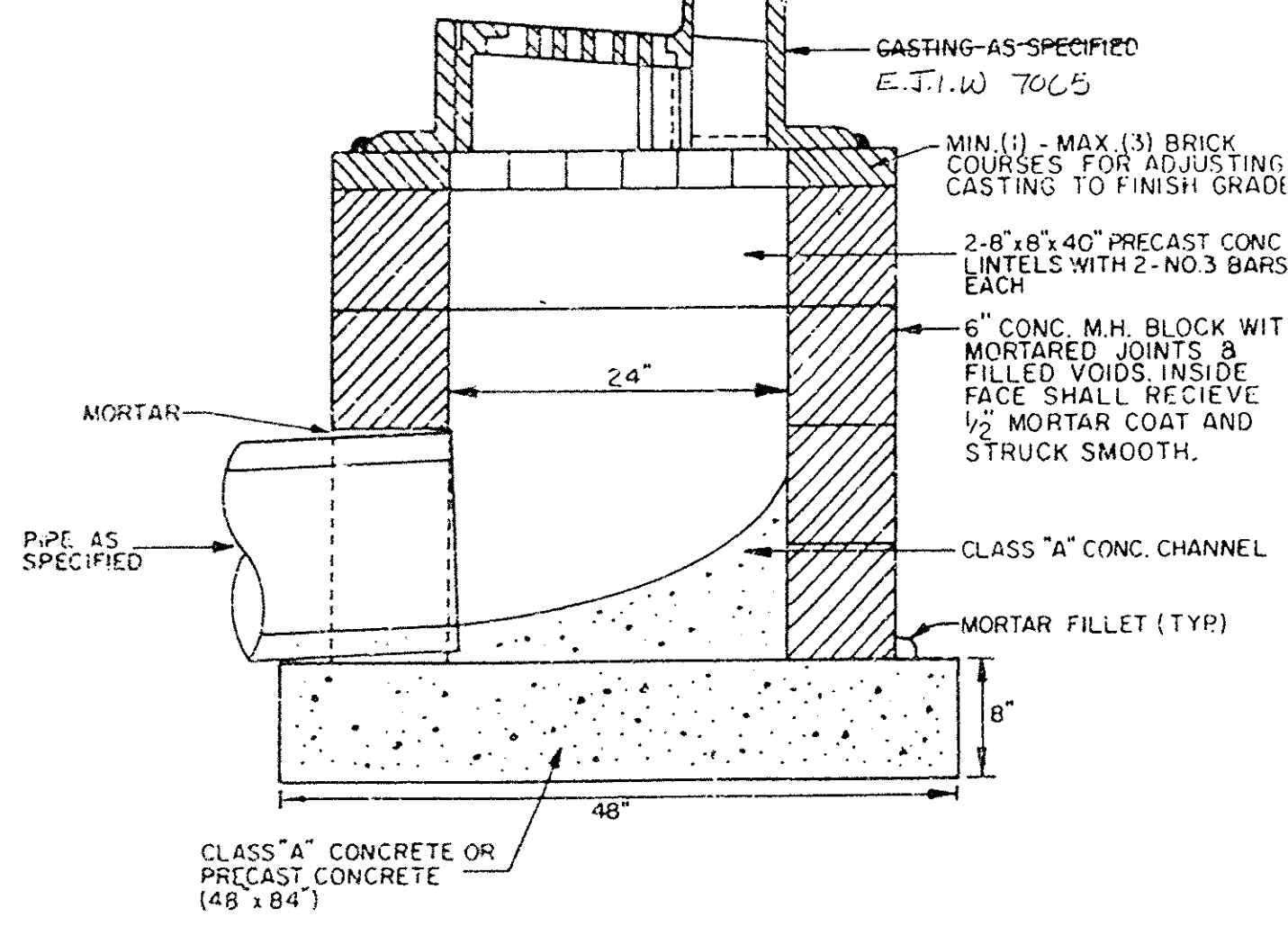
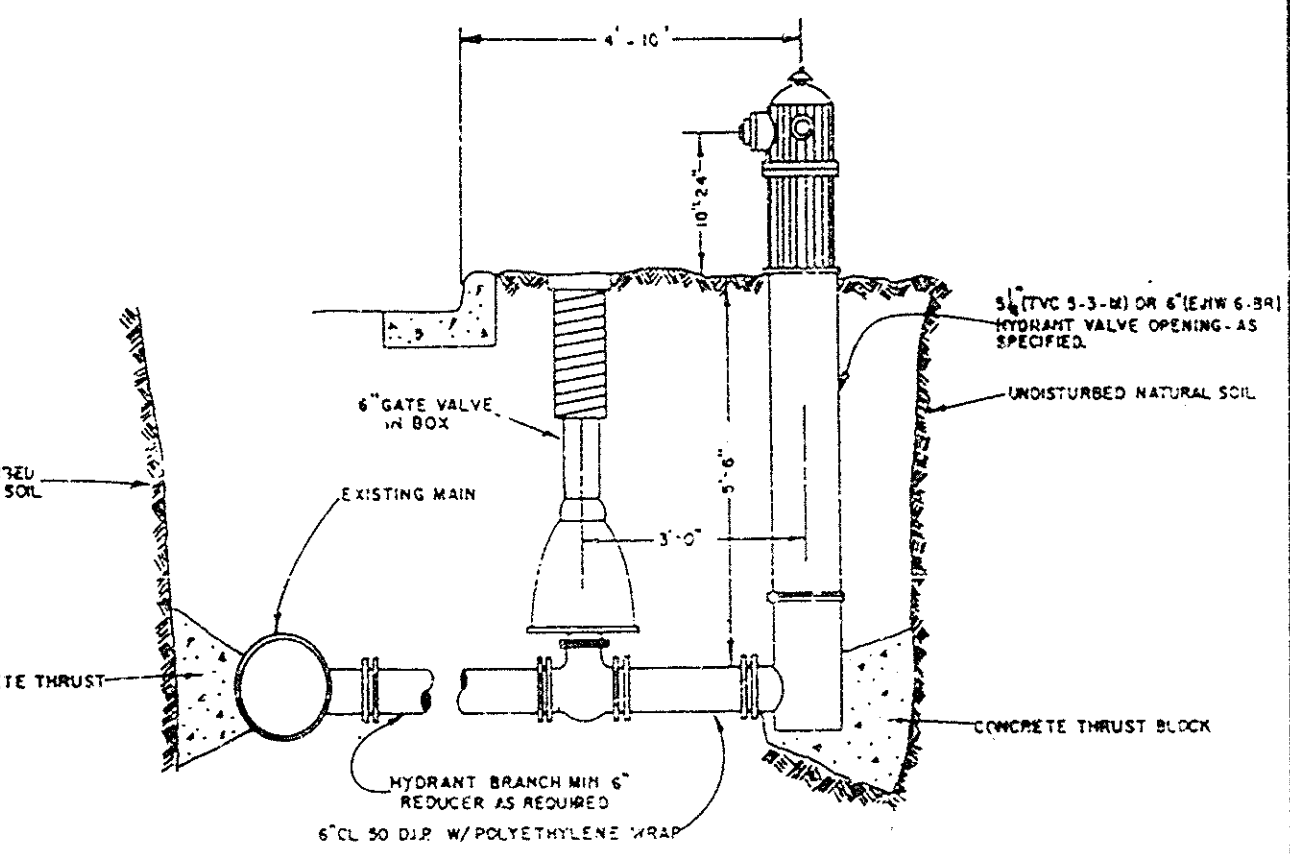
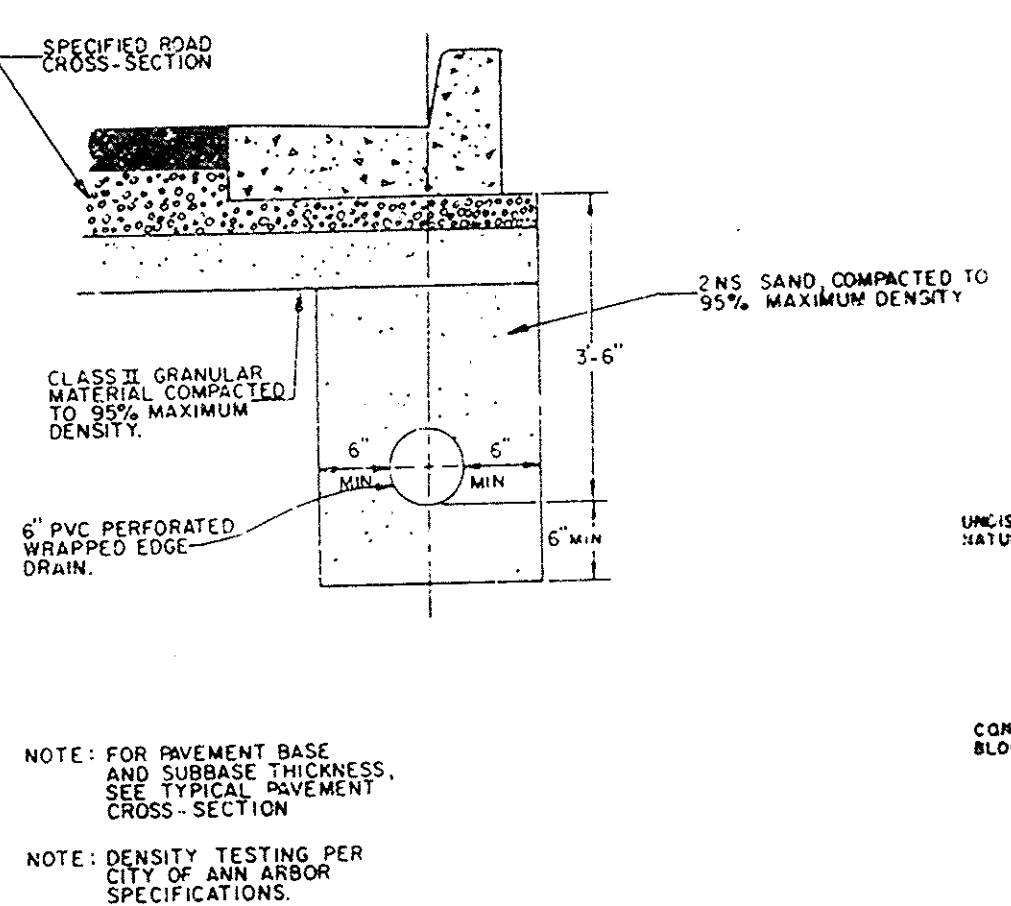
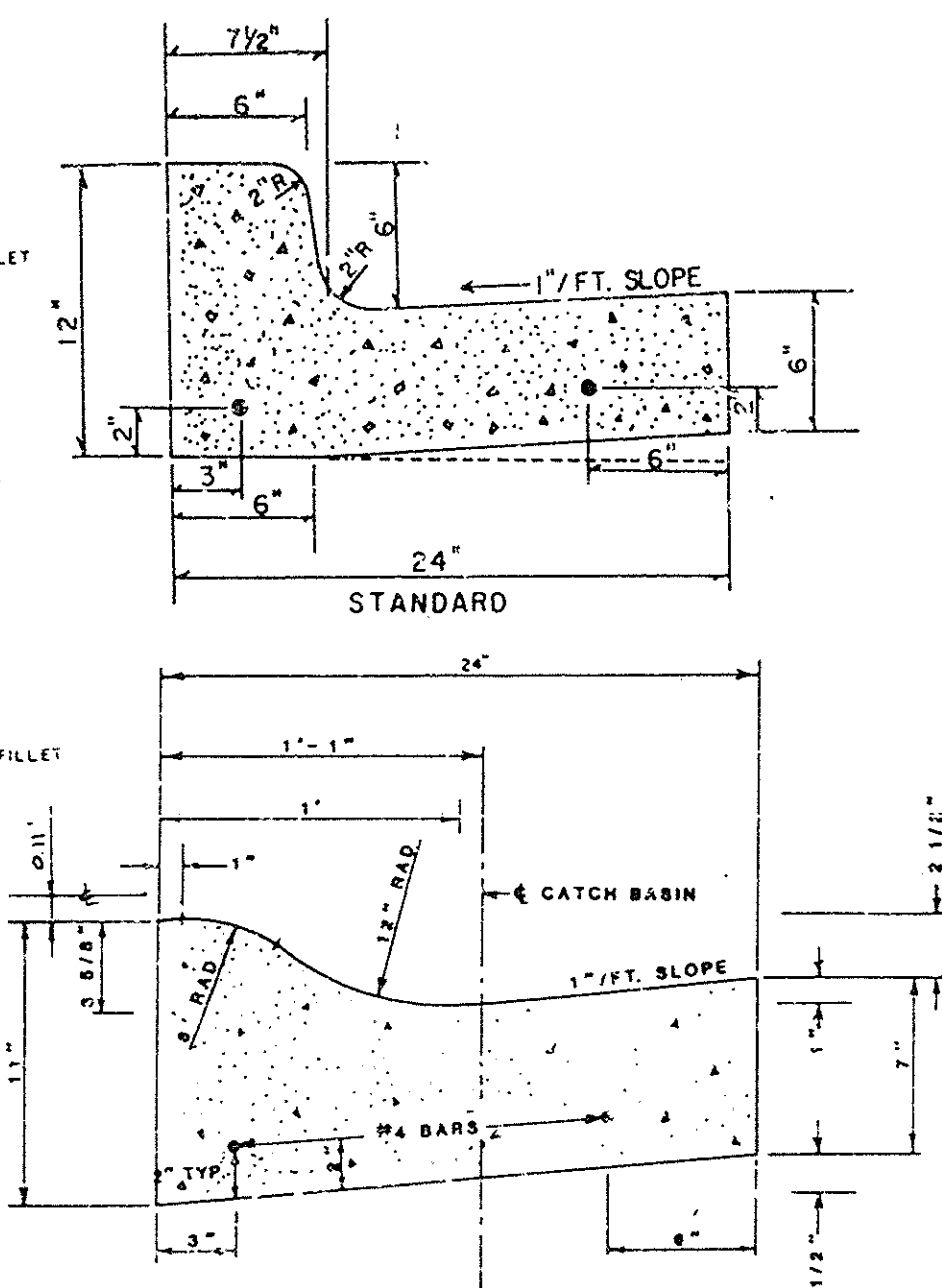
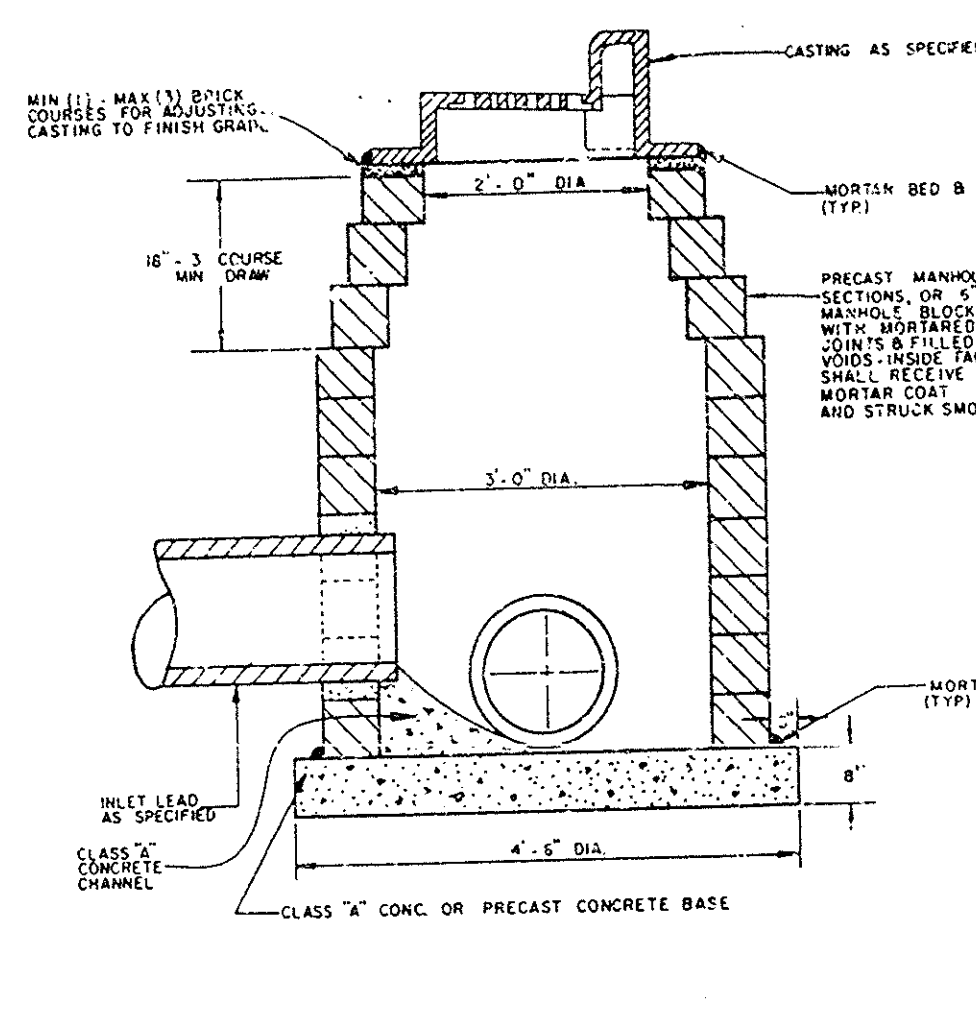
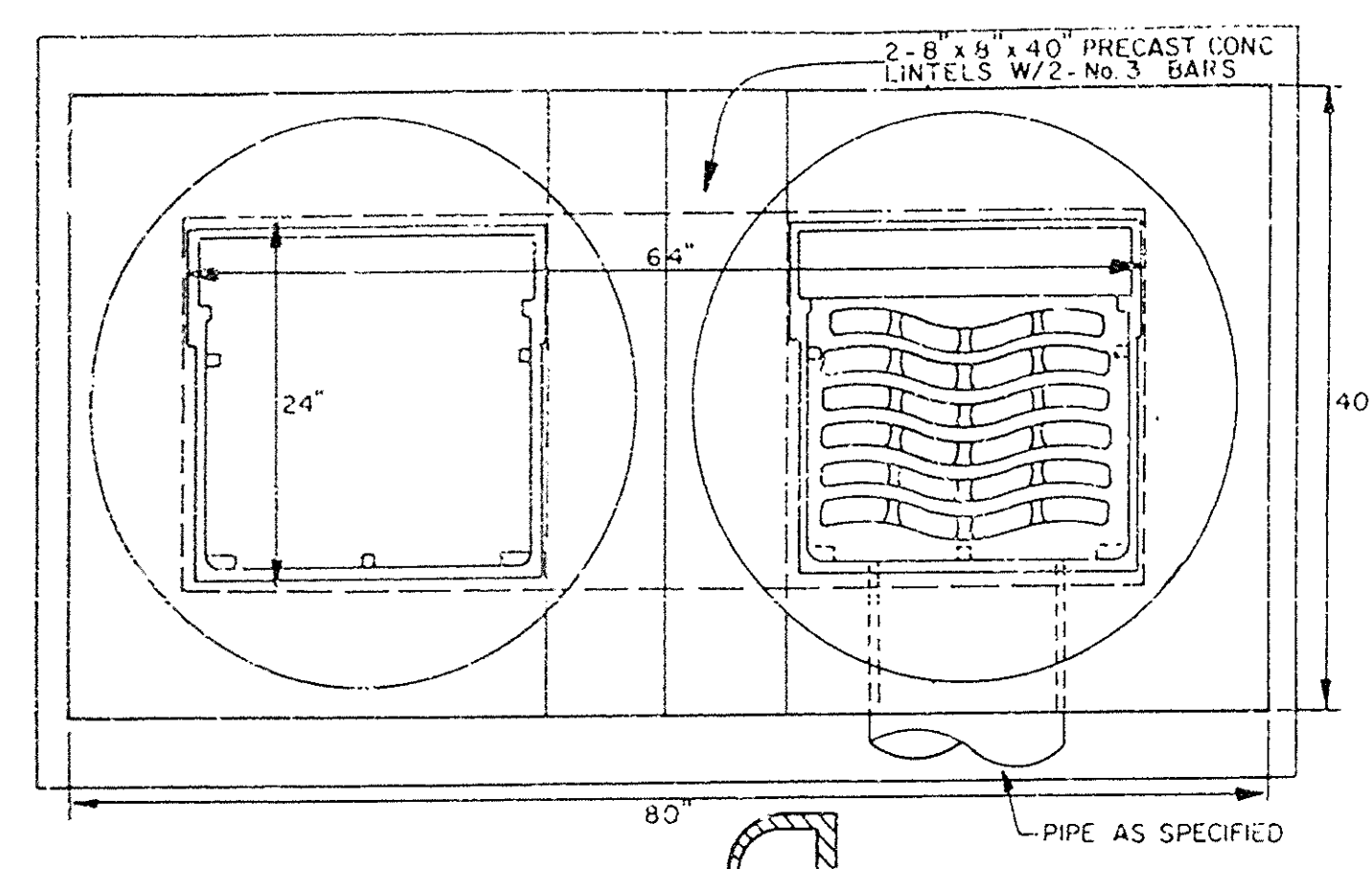
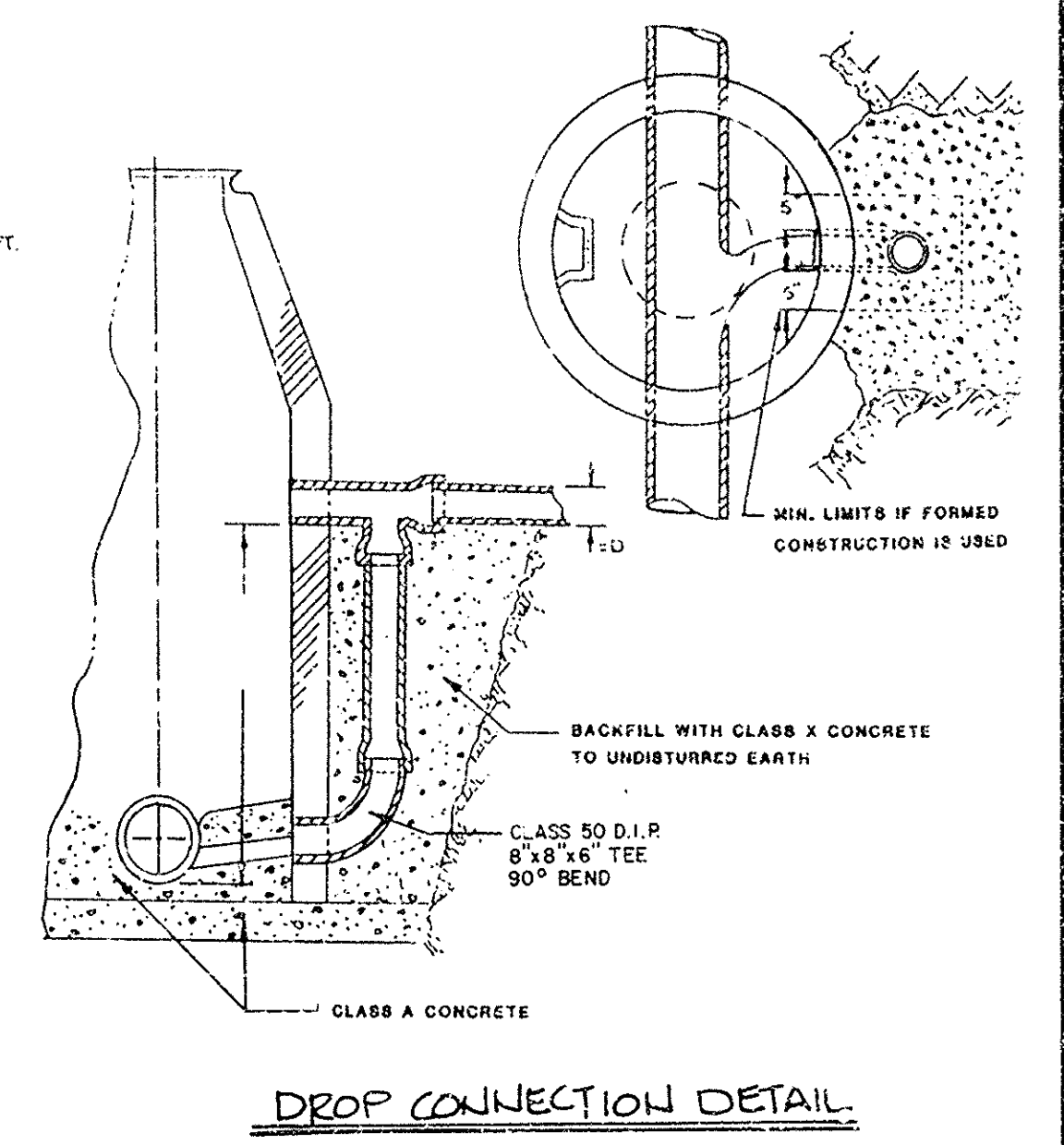
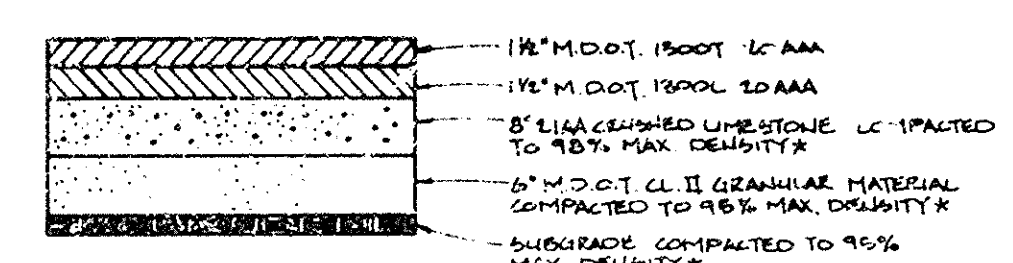
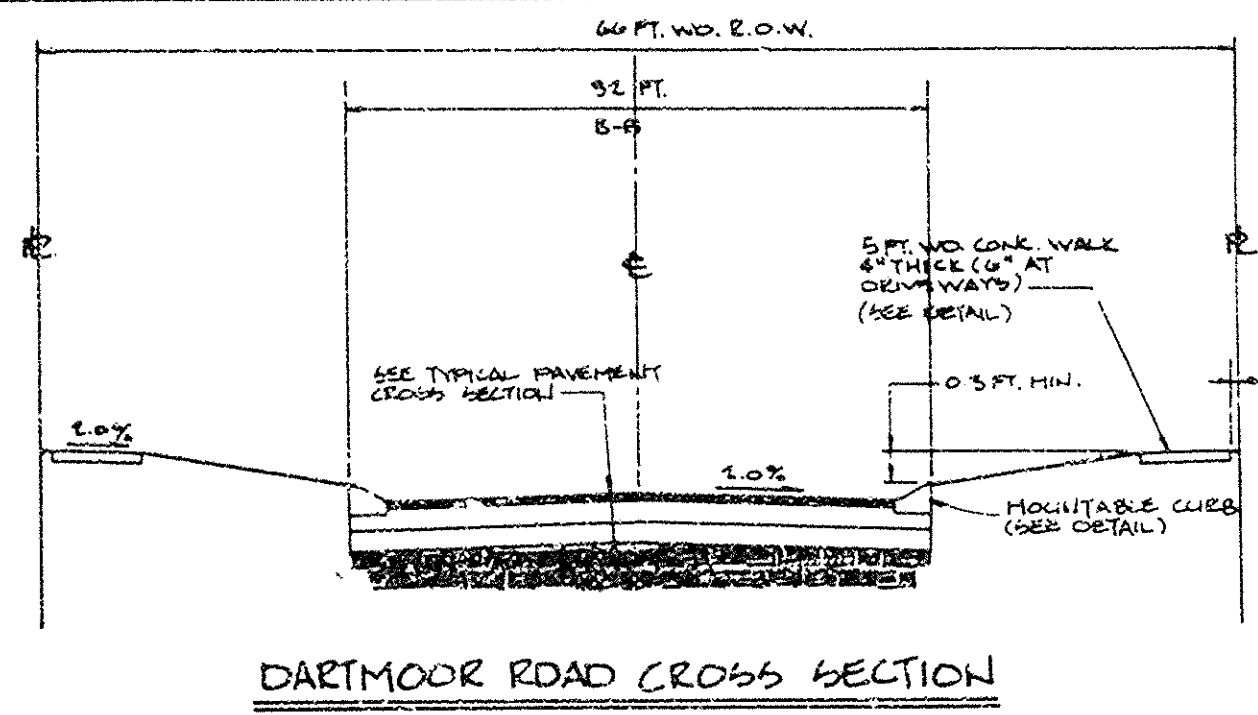
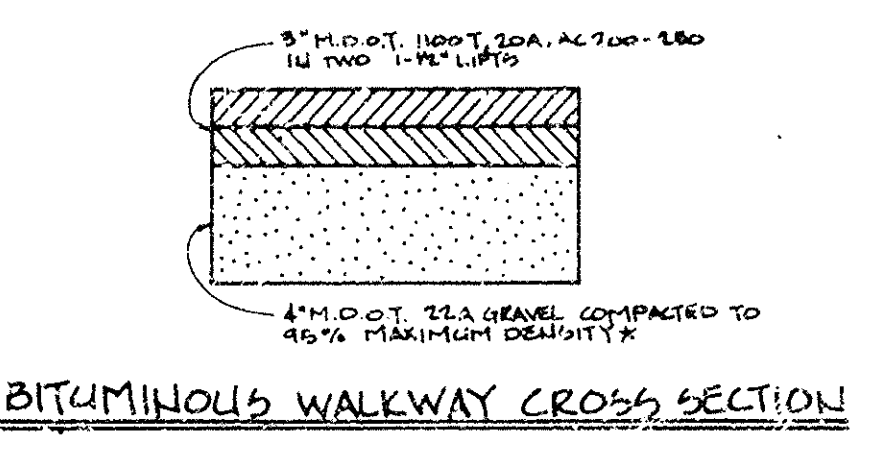
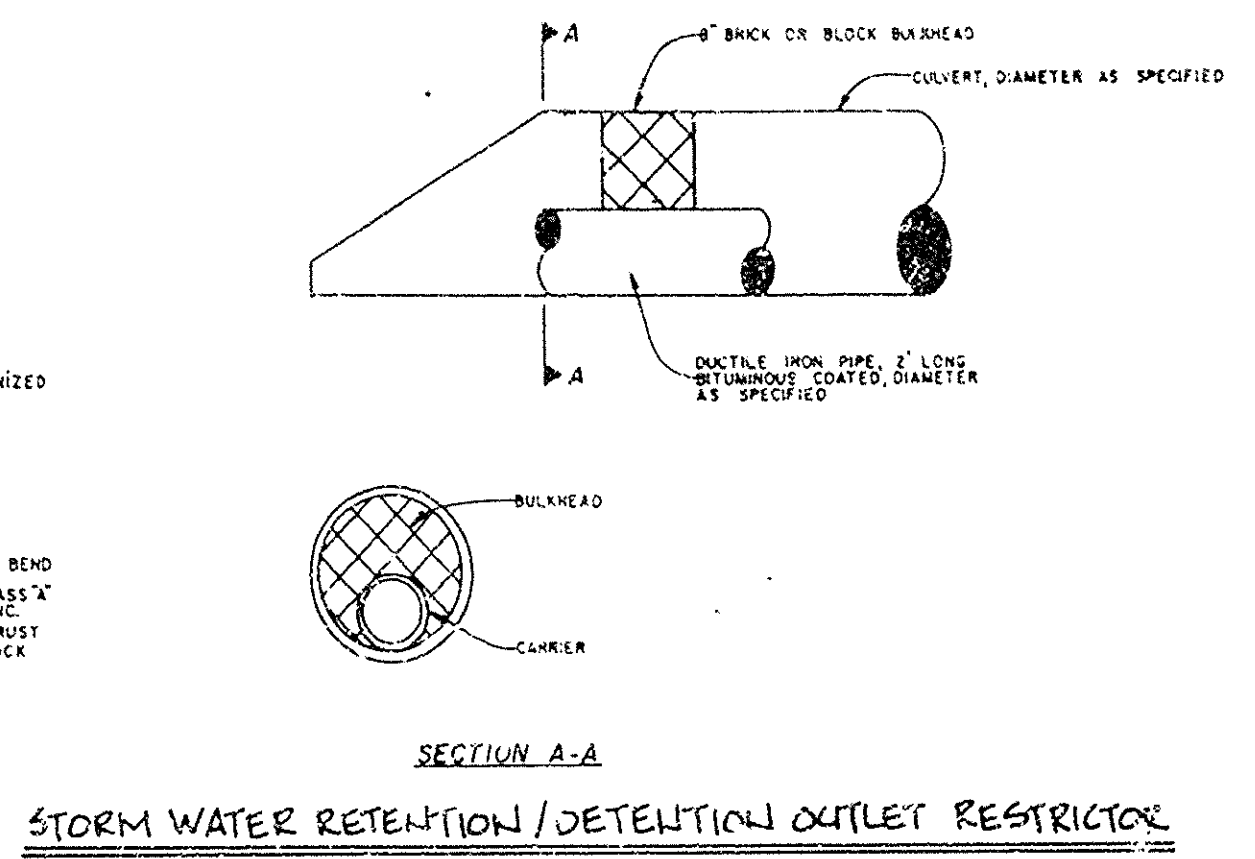
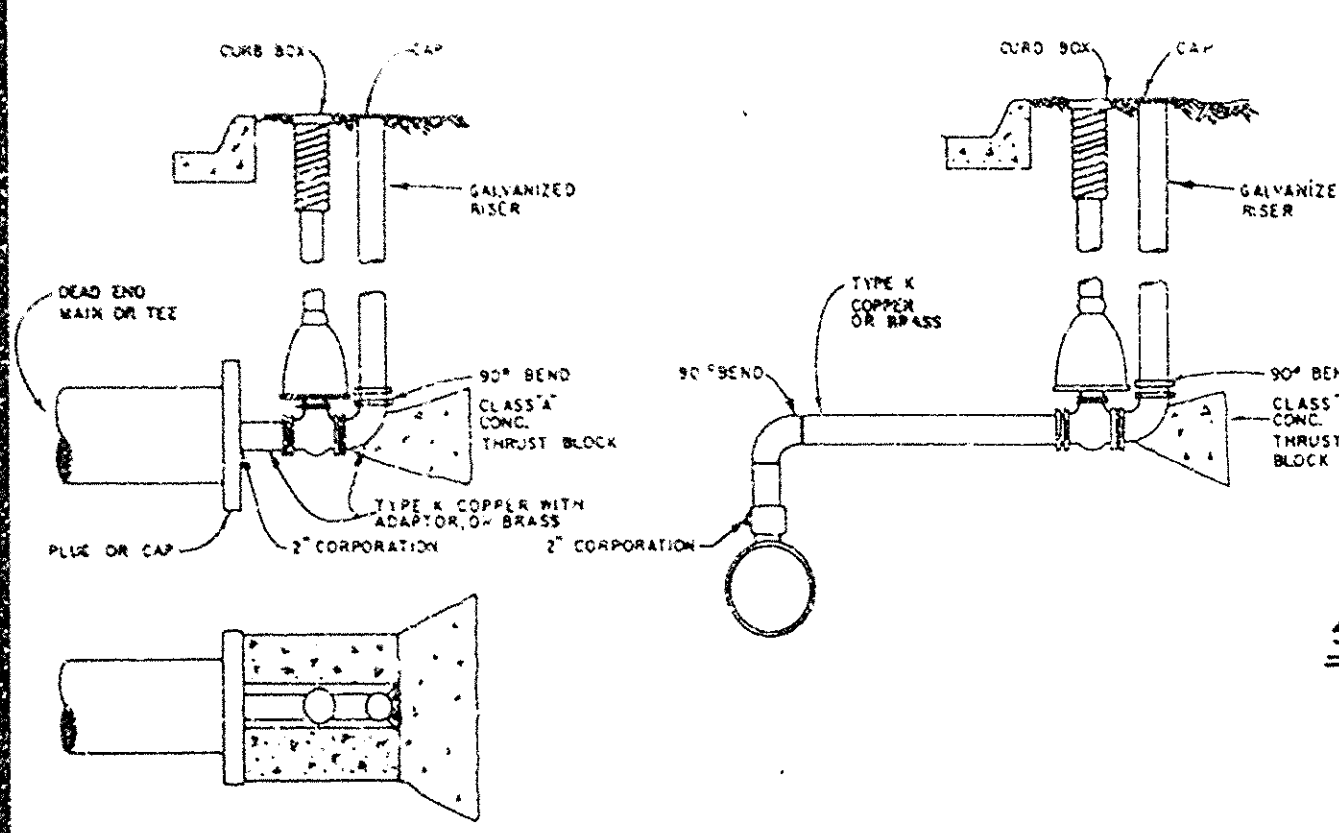
**STORM SEWER (PRIVATE)**  
**RIDGEWOOD COURT**  
 NOT AS-BUILT  
**RIDGEWOOD CONDOMINIUM**

SCALE  
 HORZ. 1" = 40'  
 VERT. 1" = 4'

DRAWING NO. **91063-R**  
 SHEET NO. 8 OF 9

PER CITY REVIEW: JRS 10/24/91

PREPARED BY ATWELL-HICKS, INC. Job No. 94425-01 File No. 414-05-8



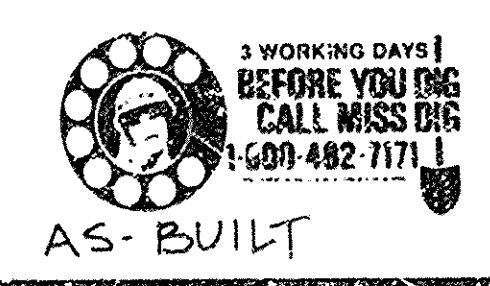
**ATWELL-HICKS, INC.**  
CIVIL ENGINEERS, SURVEYORS & PLANNERS  
313-994-4000 • FAX NO. 313-994-1599  
ANN ARBOR, MICHIGAN

IN THE SW 1/4 OF  
SECTION 30 CITY OF ANN ARBOR  
TOWN 2 SOUTH, RANGE 6 EAST  
WASHTENAW COUNTY

CLIENT: KETELAAR ASSOCIATES  
DETAILS: RIDGEWOOD

| NO. | DATE    | REVISIONS               |
|-----|---------|-------------------------|
| 1   | 8/29/91 | 9/23/91 PER CITY REVIEW |

|         |           |
|---------|-----------|
| SCALE   | 1" = FEET |
| DR      | JMH       |
| CH      | BW        |
| BOOK    |           |
| JOB     | 2420      |
| FILE NO | 91063-9   |



**NOTICE:**  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOT AS-BUILT

RIDGEWOOD CONDOMINIUM

DARTMOOR CONDOMINIUM

AS-BUILT LEAD SCHEDULE - RIDGEWOOD COURT

| STATION | SIZE | TYPE | LENGTH | GRADE  | V.F. OF RISER | INVERT @ LEAD TERMINUS | UNIT  |
|---------|------|------|--------|--------|---------------|------------------------|-------|
| 1+45.5  | 4"   | PVC  | 25'    | 9.0%   | -----         | 913.00                 | 11/12 |
| 1+62    | 4"   | PVC  | 15'    | 2.7%   | 2'            | 915.22                 | 9/10  |
| 2+52    | 4"   | PVC  | 50'    | 4.78%  | -----         | 925.52                 | 7/8   |
| 3+19    | 4"   | PVC  | 59'    | 7.5%   | 2'            | 930.17                 | 19/20 |
| 3+21    | 4"   | PVC  | 74'    | 10.35% | 2'            | 933.01                 | 21/22 |
| 3+64    | 4"   | PVC  | 7'     | 1.6%   | -----         | 924.29                 | 5/6   |
| 3+66    | 4"   | PVC  | 53'    | 14.0%  | 2'            | 933.81                 | 29/29 |
| 4+23    | 4"   | PVC  | 40'    | 3.6%   | 4'            | 930.32                 | 3/4   |
| 4+91    | 4"   | PVC  | 33'    | 2.15%  | -----         | 926.02                 | 1/2   |
| 5+33    | 4"   | PVC  | 100'   | 6.27%  | -----         | 933.07                 | 25/26 |
| 0+85    | 4"   | PVC  | 22'    | 2.88%  | -----         | 920.06                 | 13/14 |
| 0+85    | 4"   | PVC  | 59'    | 3.41%  | -----         | 921.46                 | 15/16 |
| 0+85    | 4"   | PVC  | 18'    | 9.25%  | 4.5'          | 926.12                 | 17/18 |

STRUCTURE SCHEDULE

| Structure No. | Rim Elev. | Description               | Diameter | E.J.I.W Casting |
|---------------|-----------|---------------------------|----------|-----------------|
| S-1           | 927.25    | Standard Manhole (Type 1) | 4'       | 1040-A          |
| S-2           | 935.90    | Standard Manhole (Type 1) | 4'       | 1040-A          |
| S-3           | 936.17    | Standard Manhole (Type 1) | 4'       | 1040-A          |
| S-4           | 933.00    | Standard Manhole (Type 1) | 4'       | 1040-A          |
| S-5           | 930.80    | Standard Manhole (Type 1) | 4'       | 1040-A          |
| S-6           | 929.70    | Standard Manhole (Type 1) | 4'       | 1040-A          |

- SANITARY SEWER CONSTRUCTION NOTES
- All work, material and testing to be in accordance with City of Ann Arbor standards.
  - All work will be under the inspection of the City of Ann Arbor Engineering Department. Contractor shall arrange for all inspection and testing and pay cost of same.
  - All paved areas existing and proposed to be backfilled with HDT Class II granular material (well graded), compacted to 95% of maximum density at optimum moisture content per ASTM-T-180.
  - All sanitary sewer pipe shall be C-100 8" V.C.P. Pipe shall be joined to the manhole with gasketed flexible water tight connections. Manhole frames shall have a 24" minimum opening. The standard casting shall be Heenan IR-1642 or equal, with type C cover and 2-1" pick holes. The word "SEWER" shall be cast in the cover.
  - A minimum vertical clearance of 18" shall be maintained between water mains and sewers.
  - ALL SANITARY LEAD SHALL BE 4" DIA. SCHEDULE 40 PVC
- PREPARED BY: ALLEN R. SUGGITT, P.E. #12414  
CITY OF ANN ARBOR JOB NO. 91063-SW
- APPROVED BY: \_\_\_\_\_ DNR PERMIT NO. \_\_\_\_\_

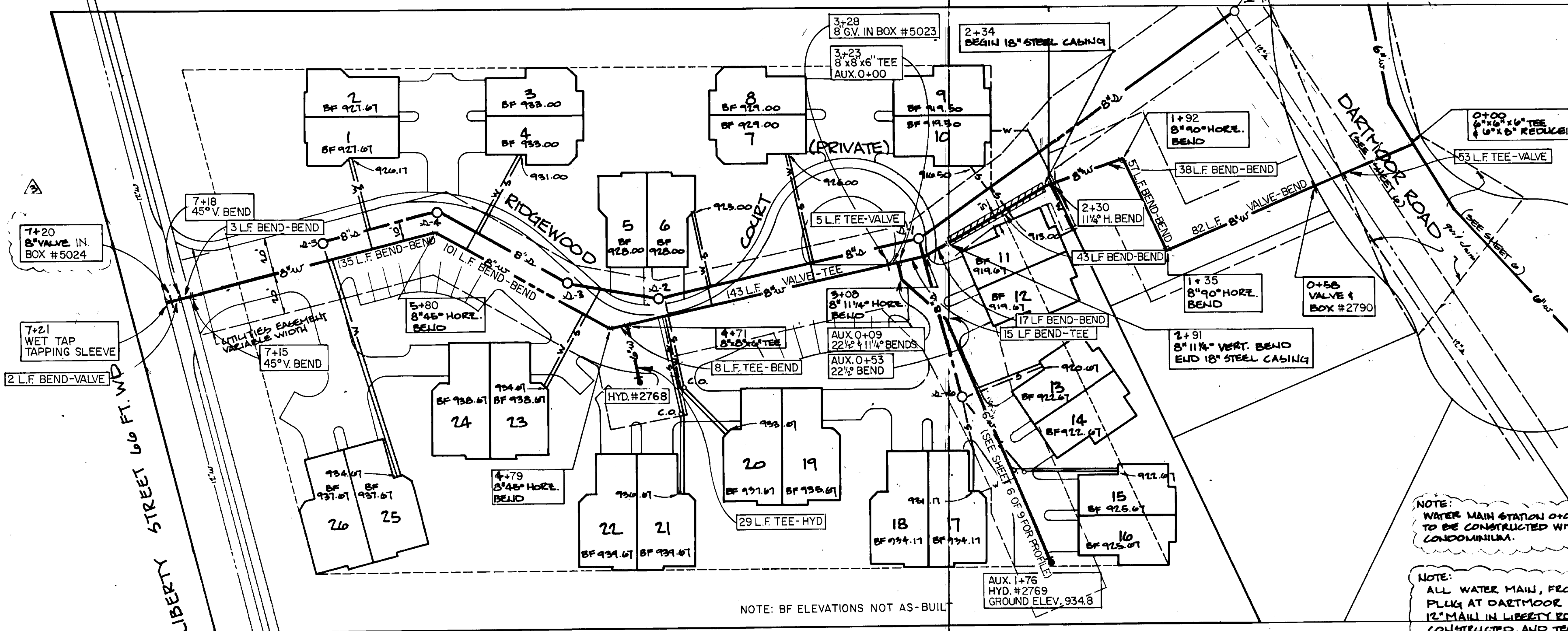
SANITARY SEWER BASIS OF DESIGN

RIDGEWOOD CONDOMINIUM  
Population Density = 2.0 People/unit  
Total Population = (2.0 People/unit)(26 Units) = 52 People  
Average Daily Volume = (52 People)(100 gal/person/day) = 5,200 gal  
Peak Flow = (4)(695 cfd)(1 day/86,400 sec.) = 0.032 cfs  
Capacity of 8" Sewer @ 0.4% = 0.8 cfs

DARTMOOR CONDOMINIUM  
Population Density = 3.5 People/unit  
Total Population = (3.5 People/unit)(8 Units) = 28 People  
Average Daily Volume = (28 People)(100 gal/person/day) = 2,800 gal  
Peak Flow = (4)(375 cfd)(1 day/86,400 sec.) = 0.017 cfs

**3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-182-7171**

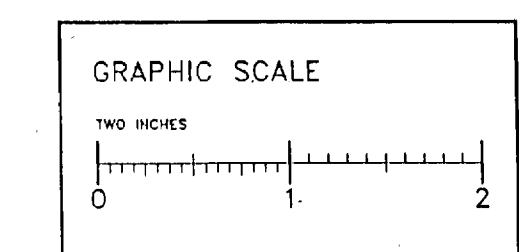
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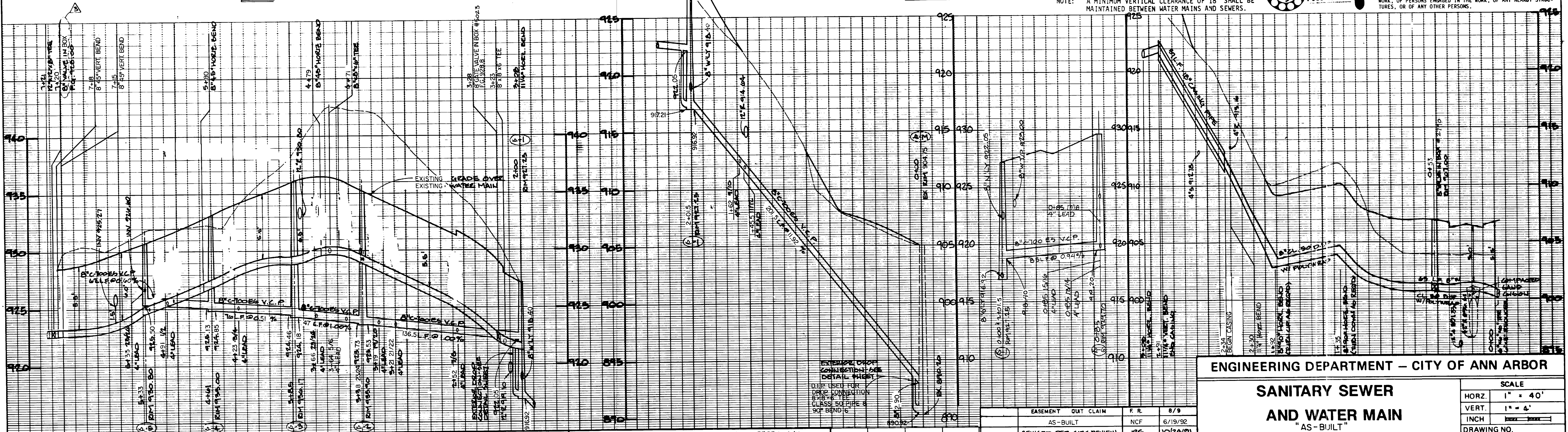
NOTE: WATER MAIN STATION 0+00 TO STA. 2+36 TO BE CONSTRUCTED WITH DARTMOOR CONDOMINIUM.

NOTE: ALL WATER MAIN, FROM EXISTING PLUG AT DARTMOOR RD. TO THE 12" MAIN IN LIBERTY RD. TO BE CONSTRUCTED, AND TESTED CONCURRENTLY.

NOTE: Data contained on this page was drawn from City records. No guarantee is made as to its accuracy or completeness.



NOTE: A MINIMUM VERTICAL CLEARANCE OF 18" SHALL BE MAINTAINED BETWEEN WATER MAINS AND SEWERS.



LEGEND:

- UNDERGROUND UTILITIES
- EXISTING SANITARY
- PROPOSED SANITARY
- EXISTING STORM
- PROPOSED STORM
- EXISTING WATER
- PROPOSED WATER
- EXISTING GRADE
- PROPOSED GRADE

BENCH MARK #1 CITY BM #BT SW CORNER LIBERTY AND DARTMOOR ELEV. 898.98  
#2 TOP AT NORTH END RETAINING WALL #10 W. OF NW COR. OF SITE ELEV. 940.37

| NO. | DATE     | BY  | REVISIONS               |
|-----|----------|-----|-------------------------|
| 1   | 9/10/91  | CEB | AS-BUILT                |
| 2   | 10/24/91 | JRS | REVISED PER CITY REVIEW |
| 3   | 9/23/91  | CEB | REVISED PER CITY REVIEW |

ENGINEERING DEPARTMENT - CITY OF ANN ARBOR

**SANITARY SEWER AND WATER MAIN "AS-BUILT" RIDGEWOOD COURT RIDGEWOOD CONDOMINIUM**

SCALE: HORIZ. 1" = 40', VERT. 1" = 4'

DRAWING NO. **91063-SW**

SHEET NO. **1** OF **1**

PREPARED BY ATWELL-HICKS, INC. Job No. 3446-01 File No. 414-00-7